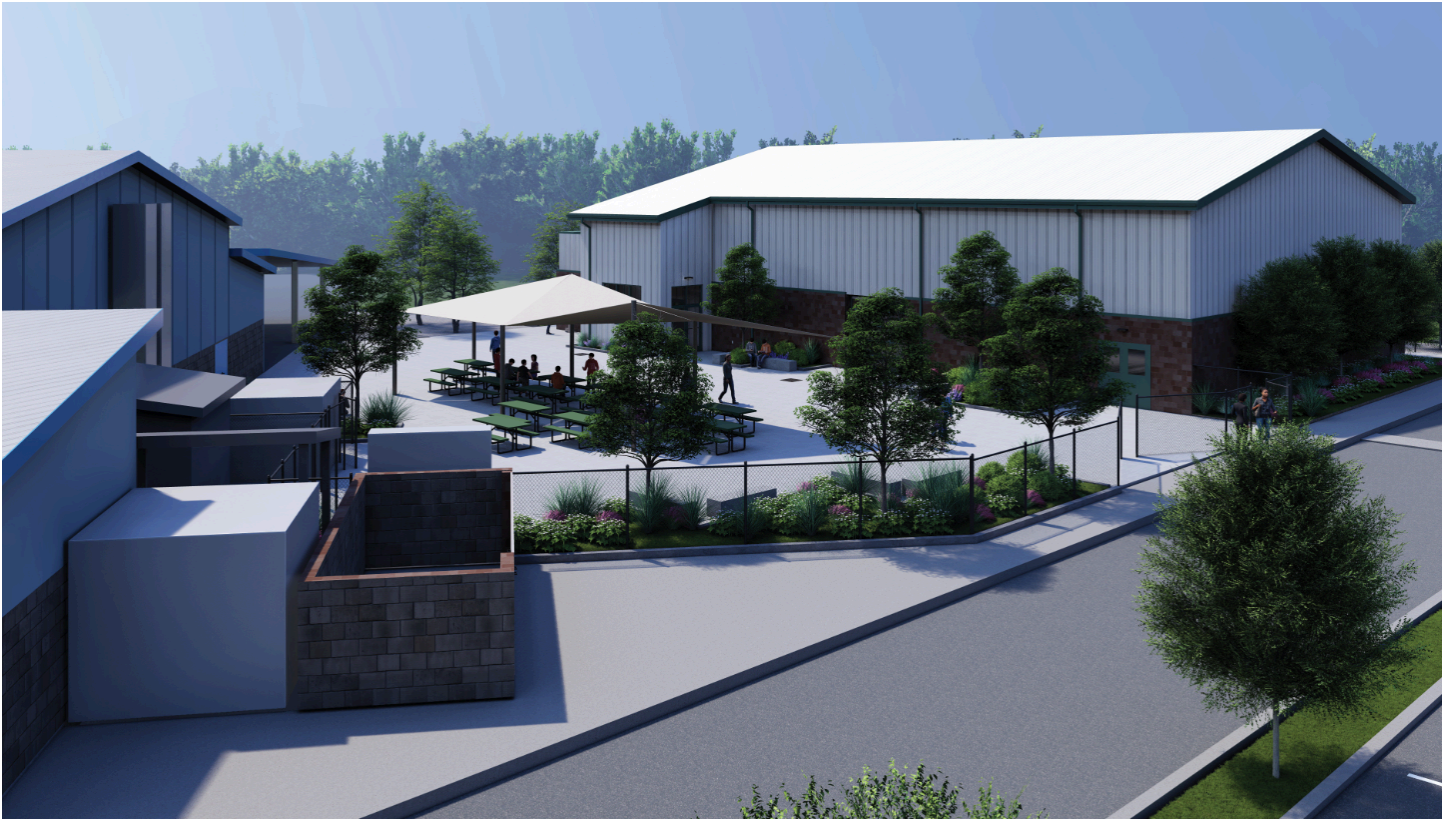


Central Point School District Mae Richardson Elementary Gymnasium

200 W Pine St,
Central Point, OR 97502



Planning Application narrative

Aug 30, 2024



MRE Gymnasium

Planning Application Narrative

08/30/2024

PLANNING APPLICATION: MRE Gymnasium

I. Project Information

Pre-Application:	PRE-24006
Subject Site:	200 W Pine St, Central Point, OR 97502
Map & Tax Lot #:	372W10AB - 1200
Zoning:	Civic (C)
Overlay Zone:	TOD overlay
Property Owner:	Central Point School District No.6
Total Acreage:	5.92 Ac (257,875 SF)



II. Project Scope

Mae Richardson Elementary School, located at 200 W Pine St, is anticipating the construction of a new 7,852 sf gymnasium building located north of the existing school. The gym will serve the students of MRE and become a resource for the greater community. Currently, MRE contains just one assembly space within the school, which serves as the cafeteria, the auditorium, and the gymnasium. The purpose of the building is to help alleviate the scheduling and spatial challenges that the school currently faces due to limited space and programming in their singular assembly space. Therefore, the proposed gym building will not be creating any new uses on site, nor will it expand any uses currently on site.

The new gym building will include a multi-court with bleachers, restrooms, and physical education storage space. The restrooms in the proposed gym have interior and exterior access and, when appropriate, may be used during sporting events outside of school hours. A courtyard is proposed between the new and existing building, which intends to provide space for picnic tables to seat approximately 100 students for outdoor lunch. New shrubs and trees will add greenery and shade to a currently bare gravel area.

The applicant seeks approval of a Planning Application in preparation for obtaining a building permit for the proposed development of MRE Gymnasium.

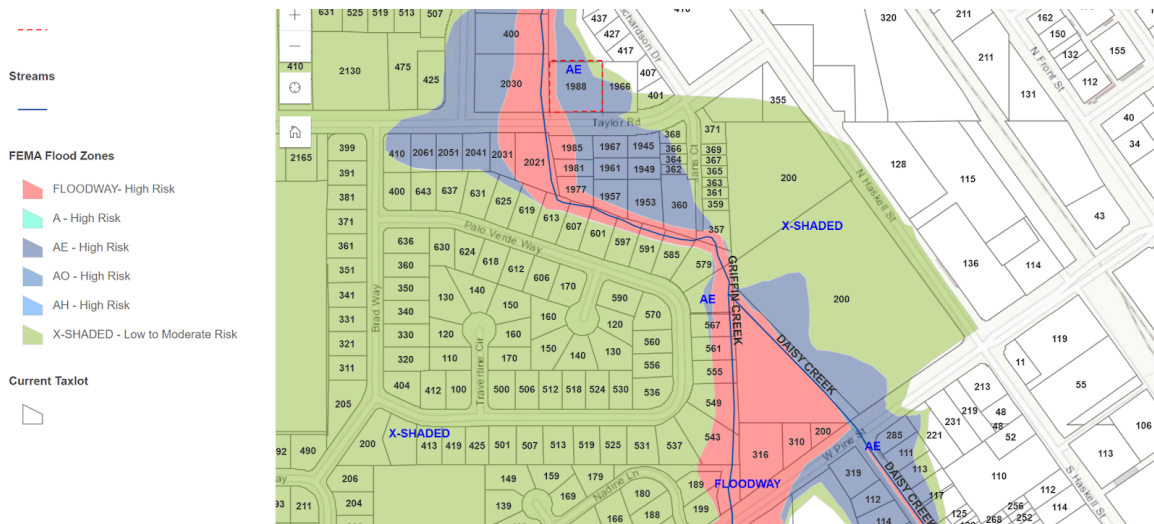
III. Attachments – Evidence of Record

- C1.1 EXISTING CONDITIONS
- C3.0 CIVIL SITE PLAN
- C3.1 SIDEWALK AT W. PINE STREET
- C4.0 DRAINAGE PLAN
- C5.0 SITE UTILITY PLAN
- A1.01 OVERALL SITE PLAN
- A1.02 ARCHITECTURAL SITE PLAN
- A2.01 FLOOR PLAN
- A3.01 EXTERIOR ELEVATIONS
- L.1 LANDSCAPE PLAN

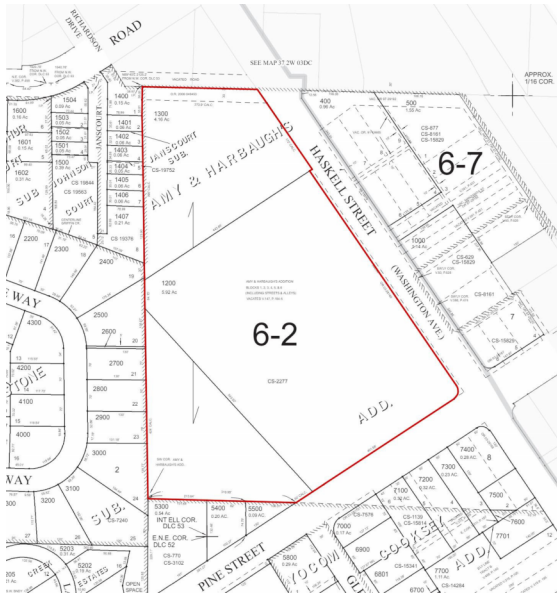
IV. Site Description

The property consists of one existing main building with a footprint of 43,115 sf and two smaller modular buildings located next to it, both at 1,776 sf. Adjacent to the main building, on the west side, there is a 4,128 sf canopy structure for outdoor play. All existing buildings and the project site are within tax lot 1200. There are two points of access to the site, a vehicular access from W Pine Street, reserved for school buses and staff, and an access from N Haskell Street for vehicles, bicycles and pedestrians, used by parents and event participants. The school currently provides 30 bicycle parking spaces at the north side of the building. Two parking lots exist, one along W Pine Street for staff and one along N Haskell Street for the general public. The Haskell parking lot was expanded recently (SPAR-21002) into tax lot 1300 and is equipped with a below ground stormwater detention system. Tax lot 1300, owned by the City of Central Point, is split between the northwest and southwest corners of the property, and is occupied by two large grass fields. A lease agreement exists for the use of the land by CPSD. A recently installed security fence encircles both lots and includes gates at major entrances.

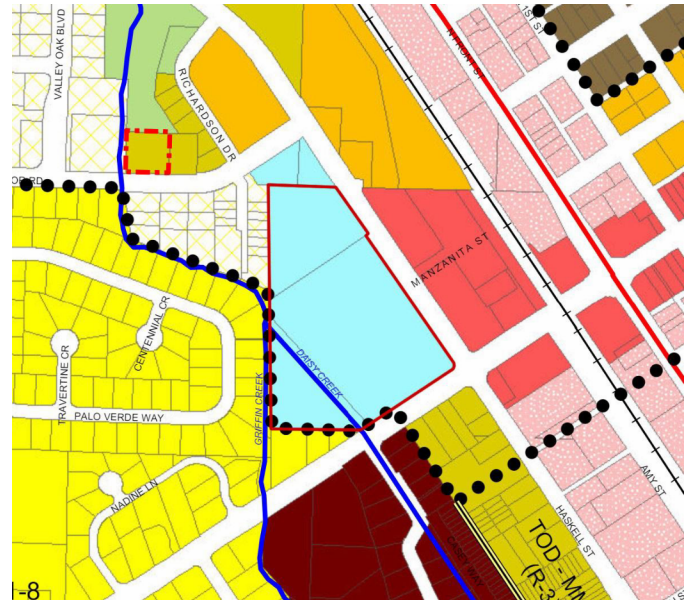
The convergence of Daisy Creek into Griffin Creek occurs on the western boundary of the site, beyond the playing fields. Daisy Creek is piped underneath the lawn between the main building and the running track on the southwest grass field. The southwest track area of the property, between the creeks, is a high-risk flood zone. Most of the property, including the proposed gymnasium, is in the low to moderate risk flood zone.



Underground utilities on W Pine St such as City water, sewer, electricity, and gas currently supply the site and existing school buildings. The proposed development is located in zone Civic (C), within the TOD overlay. A K-12 School is an allowed use within this zone.



Subject parcels



Central point existing zoning map

V. Application Criteria	
<p><u>Applicable Criteria:</u></p>	<p>Compliance Narrative:</p>
<p>17.66.050 Application approval criteria.</p> <p><i>B. Site Plan and Architectural Review. A site plan and architectural review application shall be approved when the approval authority finds that the following criteria are satisfied or can be shown to be inapplicable:</i></p> <ol style="list-style-type: none"> 1. The provisions of Chapter 17.72, Site Plan and Architectural Review, shall be satisfied; and 2. The proposed improvements comply with the approved TOD overlay master plan for the property, if required; and 3. Chapter 17.67, Design Standards--TOD Overlay. 	<ol style="list-style-type: none"> 1. The provisions of chapter 17.72 have been satisfied in the following findings and in the attached design drawings. 2. not applicable 3. The design standards outlined in chapter 17.67 have been incorporated into the proposed development. See the findings below as well as the design drawings attached.

<p>17.72.020 Applicability</p> <p><i>No permit required under Title 15, Buildings and Construction, shall be issued for a major or minor project, as defined in this section, unless an application for site plan and architectural review is submitted and approved, or approved with conditions, as set forth in this chapter.</i></p> <p><i>B. Major Projects. The following are “major projects” for the purposes of the site plan and architectural review process and are subject to Type II procedural requirements as set forth in Chapter 17.05</i></p> <p><i>1. New construction, including private and public projects, that:</i></p> <p><i>a. Includes a new building or building addition of five thousand square feet or more;</i></p>	<p>The proposed development includes a new 7,852 sf gymnasium building addition. The project is therefore a Major Project per Central Point Municipal Code (CPMC) Section 17.72.020(B) and requires a Site Plan and Architectural Review. Per PRE-24006, the project will be subject to Type II review procedures per CPMC 17.05.300. The application form, narrative, mailing labels and fee have been included as part of this complete application.</p>
<p>17.72.040 Approval criteria.</p> <p><i>In approving, conditionally approving, or denying any site plan and architectural review application, the approving authority shall base its decision on compliance with the following criteria:</i></p> <p><i>A. The application is complete in accordance with Section 17.72.030;</i></p> <p><i>B. The proposal complies with all applicable provisions of the zoning district in which it is located including but not limited to setbacks, building height, lot area and dimensions, density and floor area, lot coverage, building design, etc.;</i></p> <p><i>D. The proposal complies with all design and development standards including but not limited to:</i></p>	<p>The drawings listed within section III. Attachments address all listed criteria within 17.72.030.</p> <p>The proposed gymnasium location, size, height, and character are in conformance with all applicable provisions of the Civic district and TOD overlay. See the attached civil, landscape, and architectural drawings for details.</p>

<p>1. Chapter 17.75, Design and Development Standards; 2. Chapter 17.67, Design Standards--TOD Overlay; 3. Chapter 17.64, Off-Street Parking and Loading; and 4. Chapter 17.57, Fences;</p> <p>E. The proposal complies with the city of Central Point Department of Public Works Department Standard Specifications and Uniform Standard Details for Public Works Construction;</p> <p>F. The proposal provides for accessible and sufficient fire fighting facilities necessary to provide for the reasonable safety of life, limb and property, including, but not limited to, suitable gates, access roads and fire lanes so that all buildings on the premises are accessible to fire apparatus.</p>	<p>The proposal complies with the listed code sections. See the findings below and the attached design drawings.</p> <p>The proposal includes a new sidewalk at W Pine Street and new utility tie-ins at N Haskell Street that comply with the City standards. Private and public utility improvements will be developed in detail during the remainder of the project design. Permitting will be addressed at the time of the building permit. See the attached civil design drawings for reference.</p> <p>The proposal includes a new fire hydrant and fire apparatus access to the new development. See the attached design drawings for details.</p>
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<p>VI. Findings of Fact</p>													
<p><u>Applicable Code Section:</u></p>	<p>Compliance Narrative:</p>												
<p>SITE ACCESS AND OFF-STREET PARKING</p> <p>17.64.040 Off-street parking requirements</p> <table border="1" data-bbox="110 1146 776 1304"> <thead> <tr> <th></th> <th>Min.</th> <th>Max</th> </tr> </thead> <tbody> <tr> <td>Schools</td> <td>0</td> <td>1 space per each teacher and staff member plus 3 spaces per classroom</td> </tr> </tbody> </table> <p>17.64.050 Bicycle parking</p> <table border="1" data-bbox="110 1369 776 1493"> <thead> <tr> <th></th> <th>Min.</th> <th>Max</th> </tr> </thead> <tbody> <tr> <td>Schools</td> <td>4 spaces per classroom</td> <td>-</td> </tr> </tbody> </table>		Min.	Max	Schools	0	1 space per each teacher and staff member plus 3 spaces per classroom		Min.	Max	Schools	4 spaces per classroom	-	<p>The existing school has 23 classrooms, 515 students, and approximately 40 staff. 88 parking spaces currently exist on site. The proposed development does not alter the required parking calculations for the use on the site since it does not add classrooms to the site. Therefore, the project is in compliance as the number of spaces does not exceed 109 spaces.</p> <p>The site currently provides a bike rack with 30 spaces, which has been more than sufficient for an elementary school with young kids that do not typically ride their bikes to school. Although the total number of spaces is less than the code requires, the proposed development does not alter the required bicycle parking requirements for the school since it does not add classrooms to the site. The scale and type of development does not trigger the need to bring the number of racks up to compliance.</p> <p>The proposed development will reuse the existing bike rack on site. See sheet A1.02 Architectural Site Plan.</p>
	Min.	Max											
Schools	0	1 space per each teacher and staff member plus 3 spaces per classroom											
	Min.	Max											
Schools	4 spaces per classroom	-											

TOD OVERLAY

17.65.050 Zoning regulations.

- Building Setbacks

	<i>Minimum</i>	<i>Maximum</i>
<i>Front</i>	<i>0 ft</i>	<i>5 ft</i>
<i>Rear</i>	<i>20 ft</i>	<i>0 ft</i>
<i>Side</i>	<i>20 ft</i>	<i>0 ft</i>
<i>Corner</i>	<i>5 ft</i>	<i>10 ft</i>

- *Maximum Building Height : 45 ft*
- *Maximum Lot Coverage: 85%*
- *Minimum Landscaped Area: 15% of site area*

The proposed development meets the TOD overlay zoning regulation requirements as follows :

- The west side of the property is adjacent to a residential zone and the proposed building is located 228 ft from the west boundary.
- Proposed Building Height: 33 ft 10 Inch
- Proposed Lot Coverage: 61.1%
- Proposed Landscaped Area: 38.9%

See sheet A1.01 Overall Site Plan for location and planning summary. See sheet A3.01 for building height.

DESIGN STANDARDS--TOD OVERLAY

17.67.050 Site design standards

F. New Prominent Structures. Key public or civic buildings, such as community centers, churches, schools, libraries, post offices, and museums, should be placed in prominent locations, such as fronting on public squares or where pedestrian street vistas terminate, in order to serve as landmarks and to symbolically reinforce their importance.

L. Lighting

3. On-Site Lighting. Lighting shall be incorporated into the design of a project so that it reinforces the pedestrian environment, provides continuity to an area, and enhances the drama and presence of architectural features. Street lighting should be provided along sidewalks and in medians. Selected street light standards should be appropriately scaled to the pedestrian environment. Adequate illumination should be provided for building entries, corners of buildings, courtyards, plazas and walkways.

K. Landscaping

3. Landscaping Near Buildings. Landscaping shall serve as a screen or buffer to soften the appearance of structures or uses such as parking lots or large blank walls, or to increase the attractiveness of common open spaces.

Existing prominent buildings on site will not be altered as part of the proposed project. The new gymnasium building is proposed to complete the existing MRE campus and will be placed in a location that is visible from N Haskell.

The existing parking lot, school building exterior and canopy structure currently have lighting installed. At the new proposed courtyard, wall-mounted lighting has been incorporated into the building exterior. The proposed building will also have lights installed above each of the exterior doors to encourage a safe pedestrian presence. See the attached A3.01 Exterior Elevations for details.

Shrubs and trees are proposed as part of this project, located in at-grade planting beds at the building foundation and along the existing sidewalk and loading area. See the attached L.1 Landscape Plan for details on location, size, and variety of plantings.

<p><i>4. Service Areas. Service areas, loading zones, waste disposal or storage areas must be fully screened from public view.</i></p> <p><i>b. Acceptable screening includes:</i></p> <ul style="list-style-type: none"> <i>i. A six-foot masonry enclosure, decorative metal fence enclosure, a wood enclosure, or other approved materials complementary to adjacent buildings; or</i> <i>ii. A six-foot solid hedge or other plant material screening as approved.</i> 	<p>The school’s primary service area currently exists at the north end of the building, adjacent to the cafeteria kitchen. A trash enclosure exists, along with an exterior freezer and storage sheds. The proposed project does not propose any changes to the existing service area, however due to the location of the proposed gym building, the storage sheds will be consolidated and relocated to the back side of the existing building. A new landscape planter is also proposed to soften and buffer the service area from N Haskell.</p> <p>The mechanical units at the proposed building will be screened with metal siding on a parapet wall to compliment the building elevation and character.</p>
<p>BUILDING DESIGN</p> <p>17.67.070 Building design standards</p> <p><u>B. Architectural Character</u></p> <p>1. General.</p> <ul style="list-style-type: none"> <i>a. The architectural characteristics of surrounding buildings, including historic buildings, should be considered, especially if a consistent pattern is already established by similar or complementary building articulation, building scale and proportions, setbacks, architectural style, roof forms, building details and fenestration patterns, or materials. In some cases, the existing context is not well defined, or may be undesirable. In such cases, a well-designed new project can establish a pattern or identity from which future development can take its cues.</i> <i>b. Certain buildings, because of their size, purpose or location, should be given prominence and distinct architectural character, reflective of their special function or position. Examples of these special buildings include theaters, hotels, cultural centers, and civic buildings.</i> <p><u>C. Building Entries</u></p> <ul style="list-style-type: none"> <i>a. The orientation of building entries shall:</i> <ul style="list-style-type: none"> <i>i. Orient the primary entrance toward the street rather than the parking lot;</i> <i>ii. Connect the building’s main entrance to the sidewalk with a well-defined pedestrian walkway.</i> <i>d. An exception to any part of the requirements of this section shall be allowed upon finding that:</i> <ul style="list-style-type: none"> <i>ii. The access is to a courtyard or clustered development and identified pedestrian accessways are provided through a parking lot to directly connect the building complex to the most appropriate major pedestrian route(s).</i> <p><u>D. Building Facades.</u></p> <p>1. General.</p>	<p>The proposed building form and massing is developed to complement the existing school building design with respect to its proportion and gable roof. The architectural concepts draw inspiration from local vernacular and industrial aesthetics. The main entrance to the proposed building is located on the side facing the new courtyard, across from the existing school building. Here a vestibule feature extending out of the main building volume marks the access point and gives a clear sense of entry.</p> <p>The main entrance of the proposed building is located on the side facing the new courtyard, across from the existing school building. New walkways along the north west and south west sides of the new building are proposed that connect the parking lot and new courtyard to the building entry points.</p>

<p><i>a. All building frontages greater than forty feet in length shall break any flat, monolithic facade by including discernible architectural elements such as, but not limited to: bay windows, recessed entrances and windows, display windows, cornices, bases, pilasters, columns or other architectural details or articulation combined with changes in materials, so as to provide visual interest and a sense of division, in addition to creating community character and pedestrian scale. The overall design shall recognize that the simple relief provided by window cutouts or sills on an otherwise flat facade, in and of itself, does not meet the requirements of this subsection.</i></p> <p><i>g. All buildings, of any type, constructed within any TOD overlay shall be constructed with exterior building materials and finishes that are of high quality to convey permanence and durability.</i></p> <p><i>h. The exterior walls of all building facades along pedestrian routes, including side or return facades, shall be of suitable durable building materials including the following: stucco, stone, brick, terra cotta, tile, cedar shakes and shingles, beveled or ship-lap or other narrow-course horizontal boards or siding, vertical board-and-batten siding, articulated architectural concrete or concrete masonry units (CMU), or similar materials which are low maintenance, weather-resistant, abrasion-resistant, and easy to clean. Prohibited building materials include the following: plain concrete, plain concrete block, corrugated metal, unarticulated board siding (e.g., T1-11 siding, plain plywood, sheet pressboard), Exterior Insulated Finish Systems (EIFS), and similar quality, nondurable materials.</i></p>	<p>The facade design has been articulated using different materials to create visual interest and pedestrian scale. A 7' tall concrete masonry block veneer wainscot is proposed around the building for durability and to allow students to safely play ball nearby. Metal siding is proposed for the upper half of the façade and at the entire vestibule volume. In addition to elementary school wall ball, junior comets and community teams make use of the fields. Therefore, it is important that there are no breakable or damageable materials used on the exterior of the building. The proposed vestibule feature is proposed with an accent metal siding color to further highlight the entry point. See sheet A3.01 Exterior Elevations for further details. Due to the specific use of the building as a gymnasium that can also serve as assembly space, no windows are proposed so that the space can easily be darkened for presentations using a projector.</p> <p>The exterior building materials that are proposed are masonry and standing seam metal siding. These materials are extremely durable and long-lasting, even in a high-impact site such as an elementary school. The masonry block veneer will have a mix of 2-3 shades of brown to match the existing school facade and create variety along the facade.</p>
<p>17.75.031 <i>General connectivity, circulation and access standards.</i></p> <p><i>C. Driveway and Property Access Standards. Vehicular access to properties shall be located and constructed in accordance with the standards set forth in the City of Central Point Department of Public Works Standard Specifications and Uniform Standard Details for Public Works Construction, Section 320.10.30, Driveway and Property Access.</i></p>	<p>Access to the site is existing and circulation was updated as part of a recent application (SPAR-21002) for the new parking lot. The northern access and drive aisle extend onto the adjacent property, owned by the City of Central Point and will serve as the primary access point for the proposed building. The design of the existing parking facilities is in compliance with 17.75.039 Off-Street Parking Design and Development Standards.</p>

FIRE AND LIFE SAFETY

SECTION 503 FIRE APPARATUS ACCESS ROADS

503.1.1 Buildings and facilities. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).

SECTION 504 ACCESS TO BUILDING OPENINGS AND ROOFS

504.1 Required access. Exterior doors and openings required by this code or the International Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway leading from fire apparatus access roads to exterior openings shall be provided where required by the fire code official.

SECTION 506 KEY BOXES

506.1 Where required. Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type listed in accordance with UL 1037, and shall contain keys to gain necessary access as required by the fire code official.

SECTION 507 FIRE PROTECTION WATER SUPPLIES

507.5 Fire hydrant systems.

507.5.1 Where required. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.systems.

The proposed building on site is accessible by fire trucks and emergency vehicles via the fire lane/loading zone at the parking lot along N Haskell Street. This allows for the 150 ft hose line access to the proposed building. Additional 20' clearance has been provided at the proposed courtyard for vehicle accessibility. See the attached C3.0 Civil Site Plan for details.

The fire apparatus access for the building utilizes the existing parking lot and extends access into the proposed courtyard. The width of the new access way is 20 feet and the clearance is unlimited.

A new 6 ft walkway has been proposed connecting the existing parking lot driveway to all the building entry points and the courtyard.

A Key Box is proposed near the riser room of the new building in accordance with UL1037.

An additional fire hydrant is proposed to serve the new building, which is located approximately 250 feet from the farthest corner of the proposed structure. See C5.0 Site Utility Plan for exact location of the proposed fire hydrant.

STORMWATER

**Rogue Valley Stormwater Quality Design Manual
1.5 DESIGN MANUAL APPLICABILITY**

The requirements of this Design Manual apply to Development and Redevelopment, within the limits of any jurisdiction that has adopted the manual.

Table 1.1 Design Manual applicability for Development or Redevelopment.

Location	Impervious Surface area	Requirements
Within city limits	≥ 5,000 sf	Retention and/or Treatment

The proposed development includes additional impervious surfacing on site, including roof area and concrete courtyard area, in excess of 22,100 sf. In 2023, a StormTech advanced drain system was installed underground north of the parking lot improvements. Stormwater from the new impervious surfaces will be routed to the underground ADS which has already been sized for the increased volume of stormwater. See attached sheet C4.0 Drainage Plan for details.

SIDEWALKS

12.04.015 Construction required.

A. Any person building a building or otherwise developing property within the city which is adjacent to a public street or highway shall, as a condition of issuance of a certificate of occupancy for the construction or development, construct sidewalks (including driveway aprons), as defined in this chapter, upon the property. The sidewalk shall be constructed in accordance with the standards of the city for the same, and the city building official is authorized to withhold issuance of a certificate of occupancy until such construction is complete.

The property frontage along N Haskell Street is in compliance with the City standards for sidewalks, including a landscape row, sidewalks and street trees. The frontage along W Pine Street has landscaping and street trees, but no sidewalk currently exists. As part of the proposed project, a sidewalk will be constructed along W Pine Street to bring that section of the frontage into conformance. There are many obstructions along the frontage of W Pine Street that make the construction of a continuous, straight, sidewalk difficult. Therefore the sidewalk will meander as needed to avoid unnecessary relocation of public and private utilities and structures. The design of the sidewalk has been drawn in communication with City staff and will provide a sidewalk as intended in the City’s design standards, while avoiding existing conditions.