

September 3, 2024

Item Summary

Consideration of a proposed approximately 16,000 square foot supermarket building and site improvements, including parking and landscape areas. The 2.24 acre site is located at 4951 Biddle Road and is identified on the Jackson County Assessor's map as 37S 2W 01C, Tax Lot 802.

Applicant/Agent: Dickerhoof Properties, LLC (Darren Dickerhoof)

Staff Source

Justin Gindlesperger, Community Planner III

Background

The Applicant is requesting Site Plan and Architectural Review approval to construct and operate an approximately 16,000 square foot supermarket at 4951 Biddle Road near the intersection of Biddle and Hamrick Road. The purpose the Site Plan and Architectural Review application is to assure the proposed site and building design are consistent with the land use and development standards for the City in accordance with CPMC 17.72, Site Plan and Architectural Review.

Project Description:

Site Design:

The Site Plan (Attachment "A-1") depicts the location of the structure along with proposed parking, service and stormwater areas. The Landscape Plan (Attachment "A-2") depicts proposed landscape areas along street frontages, around the perimeter of the site and within the parking lot. There is ample landscaping to comply with, or exceed, landscape standards in CPMC 17.75.039. In order to mitigate the large surface of the parking area, the applicant is proposing a pedestrian access to the front of the building from the Biddle Road right-of-way, shading of 40% of the surface area by the proposed trees at maturity, and a landscape row with street trees along the private retail street.

Access:

As shown on the Site Plan (Attachment "A-1"), the property fronts Biddle Road and abuts existing private retail streets on the east and south sides of the project site. The private retail streets provide access and circulation to the subject property and adjacent properties to the east and west, limiting conflicts along Biddle Road. The Applicant proposes to access the private retail streets on the east and south sides, providing access for customers and deliveries.

Building Design:

As depicted on the Building Plans (Attachment “A-3”), the main entrance is oriented north towards Biddle Road and features a raised parapet, variation in colors and materials, including front display windows. Maximum building height is 32-feet, below the maximum of 35-feet in the C-5 zoning district.

Issues

There are two (2) issues relative to this application as follows:

1. **Frontage Improvements/Landscaping.** Biddle Road is classified as an Urban Minor Arterial maintained by Jackson County. The right-of-way includes curb, gutter and sidewalk, with a landscape row between the curb and sidewalk. The Landscape Plan (Attachment “A-2”) does not include landscaping or irrigation in the landscape row. The landscape row must be landscaped with ground cover and provide irrigation to proposed landscaping.

As noted in the Fire District No. 3 Staff Report, dated 08/08/2024, landscaping provided onsite should include Firewise landscaping principles that include the installation of fire-resistant plant materials.

Comment: Staff recommends Condition of Approval No. 1(a) requiring a revised landscape plan that provides ground cover and irrigation for the landscape row along Biddle Road.

2. **Building Design.** Building design is used to ensure that buildings do not display unembellished walls visible from a public street or residential area. As defined in CPMC 17.75.042(A)(5), there are three (3) types of wall faces used to review building design. As shown on the Building Elevation (Attachment “A-2”), the proposed grocery store includes Façade Wall Faces towards the north and east and Building Wall Faces to the south and west. The wall faces to the north, east and south provide architectural features that provide variation in color, material, and articulation in compliance with this section. However, the west Building Wall Face lacks ample design features that serve to break up the wall face into smaller sections.

Comment: Staff recommends Condition of Approval No. 1(b) requiring revised building elevations that depict architectural features on the west-oriented Building Wall Face, as required by CPMC 17.75.042(A)(5)(b).

Findings of Fact & Conclusions of Law

The Planning Commission can approve, approve with conditions or deny the application based on findings set forth in CPMC 17.72.040. The Site Plan and Architectural Review criteria are addressed in the Applicant’s Findings dated June 18, 2024 (Attachment “B”) and the Planning Department Supplemental Findings set forth below. Where there is a conflict between the Applicant’s Findings and the Planning Department Findings, the latter shall apply.

CPMC 17.72.040, Site Plan and Architectural Standards

In approving, conditionally approving, or denying any site plan and architectural review application, the approving authority shall base its decision on compliance with the following standards:

- A. *Applicable site plan, landscaping, and architectural design standards as set forth in Chapter [17.75](#), Design and Development Standards;*

Finding CPMC 17.72.040(A): Based on the Applicant's Findings in Attachment "B" and the Planning Department Supplemental Findings for CPMC CPMC 17.75.042(A)(5), the proposed site plan, landscaping and architectural standards can comply as conditioned.

Conclusion CPMC 17.72.040(A): Complies as conditioned.

- B. *City of Central Point Department of Public Works Department Standard Specifications and Uniform Standard Details for Public Works Construction;*

Finding CPMC 17.72.040(B): As demonstrated in the Public Works Staff Report dated August 13, 2024 (Attachment "C") and the Jackson County Roads Staff Report dated August 14, 2024 (Attachment "D"), the proposed site development and public infrastructure including the street connectivity is consistent with the Public Works Standard Specifications and Jackson County Standards and Specifications for County Roads as conditioned. The conditions assure that civil improvement design, construction timing and implementation remains consistent with the Public Works Standards and County Road Standards until the project receives final inspection and Certificate of Occupancy.

Conclusion CPMC 17.72.040(B): Complies as conditioned.

- C. *Accessibility and sufficiency of fire fighting facilities to such a standard as to provide for the reasonable safety of life, limb and property, including, but not limited to, suitable gates, access roads and fire lanes so that all buildings on the premises are accessible to fire apparatus.*

Finding CPMC 17.72.040(C): As evidenced by FD3's email dated August 8, 2024 (Attachment "E"), the proposed site development must be consistent with the Oregon Fire Code. As conditioned, the Applicant will be required to install a fire hydrant if the building is sprinklered and the location of the FDC is greater than 50-feet from the nearest hydrant. This condition shall be administered through the building permit process. The final comment to provide Firewise plants was suggested as a way to incorporate fire-resistant plants in landscape areas.

Conclusion CPMC 17.72.040(C): Complies as conditioned.

CPMC 17.75.042 Findings and Conditions

The following design standards are applicable to development in all commercial zoning districts, and are intended to assure pedestrian scale commercial development that supports and

enhances the small town character of the community. All publicly visible buildings shall comply with the standards set forth in this section.

A. Massing, Articulation, Transparency, and Entrances

5. Wall Faces. As used in this section there are three types of wall faces. To ensure that buildings do not display unembellished walls visible from a public street or residential area the following standards are imposed:

- a. Facade Wall Face. Facade wall faces greater than forty feet in length shall be divided into small units through the use of articulation, which may include offsets, recesses, staggered walls, stepped walls, pitched or stepped rooflines, overhangs, or other elements of the building's mass.

For purposes of complying with the requirements in this subsection facade wall faces shall consist of a combination of two of the following design features:

- i. Changes in plane with a depth of at least twenty-four inches, either horizontally or vertically, at intervals of not less than twenty feet and not more than forty feet; or
- ii. Changes of color, texture, or material, either horizontally or vertically, at intervals of not less than twenty feet and not more than one hundred feet; or
- iii. A repeating pattern of wall recesses and projections, such as bays, offsets, reveals or projecting ribs, that has a relief of at least eight inches at intervals of not less than twenty feet and not more than forty feet.



Finding CPMC 17.75.042(A)(5)(a): The building provides a façade wall face towards Biddle Road to the north and the private retail street to the east. As depicted on the Building Elevations (Attachment “A-3”), the façade wall faces divide the length of the walls into smaller units with the use of colors and materials. The north facing façade provides a repeating pattern of bays separated by columns, and a change in color and material horizontally above the main entrance and front window area. The east facing façade provides a similar pattern of repeating bays and features changes in colors and materials between the bays, and a raised parapet that emulates the design at the entrance of the building.

Conclusion CPMC 17.75.042(A)(5)(a): Consistent.

- b. Building Wall Face. As applicable each building wall face shall be given architectural treatment to meet the intent of this section by using three or more of the following:
- i. Varying rooflines with one foot or greater changes of height at least every forty feet;
 - ii. Transparent windows that comprise at least forty percent of the visible facade;
 - iii. Secondary entrances that include glazing and landscape treatment;
 - iv. Balconies;
 - v. Awnings/canopies;
 - vi. Planted trellises;
 - vii. Projecting cornices at least twelve inches in height;
 - viii. Variation in building form and materials demonstrated to meet the intent of this section.

Finding CPMC 17.75.042(A)(5)(b): A building wall face is not directly oriented towards a street but is still visible from the public right-of-way. As depicted on the Building Elevations (Attachment "A-3"), the building provides a building wall face towards the west and south. The south elevation includes two (2) architectural treatments and provides a similar design to the east façade face with a repeating pattern bay design with variation of material and color and an awning towards the side of the wall face. The west elevation, which includes the area for the proposed loading dock, does not include treatments listed in this section. As a condition of approval, the south elevation and west elevation must include at least three (3) or more of the architectural treatments listed above.

Conclusion CPMC 17.75.042(A)(5)(b): Complies as conditioned.

- c. Other Wall Faces. Other wall faces abutting residential areas shall comply with the requirements for building wall faces. Other wall faces not abutting residential areas are exempt from this section.

Finding CPMC 17.75.042(A)(5)(c): As depicted on the Site Plan (Attachment "A-1") the project site does not abut a residential area.

Conclusion CPMC 17.75.042(A)(5)(c): Not applicable.

Summary Conclusion:

The Site Plan and Architectural Review application to develop 2.24 acres at 4951 Biddle Road with an approximately 16,000 square foot supermarket/grocery store as been reviewed against the applicable approval criteria in CPMC 17.72.040 for the C-5 zone and found to comply as conditioned based on the Applicant's Findings of Fact in Attachment "B", the Planning Department Supplemental Findings presented in this Staff Report dated September 3, 2024 and Attachments "A-1", "A-2", "A-3", "C", "D", "E", and "F. It is emphasized that if there is any conflict between the Applicant's Findings and the Planning Department Supplemental Findings, the Planning Department Supplemental Findings shall apply.

Recommended Conditions of Approval

1. Prior to building permit issuance for the supermarket/grocery store building, the applicant shall satisfy the following conditions of approval:
 - a. Submit revised landscape plan that depicts the landscape row along the Biddle Road with ground cover and irrigation;
 - b. Submit revised building elevations that depict west building wall face with at least three (3) architectural features, as required by CPMC 17.75.042(A)(5)(b);
 - c. Demonstrate compliance with the Public Works Department Staff Report (Attachment "D"), including but not limited to:
 - i. Submit and receive approval for Civil Improvement Plans demonstrating compliance with Public Works Department Standard Specifications for public works construction that includes, but is not limited to, the proposed sidewalks, utilities, and the protection of public infrastructure.
 - ii. Submit and receive approval for a stormwater management plan demonstrating compliance with the MS4 Phase II stormwater quality standards.
 - iii. Submit and receive approval for an erosion and sediment control permit (NPDES-1200CN).
 - iv. Pay all System Development Charges and permit fees.
 - d. Demonstrate compliance with the Jackson County Roads Department Staff Report and supplemental comments (Attachment "D"), including but not limited to:
 - i. Submit and receive approval for construction plans demonstrating compliance with the "Standards and Specifications for County Roads" for public works within the County Roads right-of-way.
 - ii. Submit and receive approval for a stormwater management plan for any drainage facilities directed to Jackson County stormwater facilities.

- e. Demonstrate compliance with Fire District No. 3 Staff Comments, including:
 - i. Submit a revised site plan that depicts the location of a new fire hydrant, if the location of the FDC on the proposed building is greater than 50-feet from an existing fire hydrant.
 - ii. Include fire-resistant landscape materials within proposed landscape areas, as endorsed by Firewise landscaping principles.
 - f. Demonstrate compliance with Rogue Valley Sewer Services Staff report, including obtaining a connection permit and paying all applicable fees.
2. Prior to Public Works Final Inspection, the applicant shall demonstrate compliance with the following:
 - a. Complete public infrastructure and civil improvements per Civil Improvement Plans approved by the Public Works Department and a fully executed development agreement and bond, if applicable. The Engineer-of-Record shall certify that all improvements were constructed per the approved plans.
 - b. Complete public infrastructure and civil improvements per construction plans approved by the Jackson County Roads Department.
 - c. Complete stormwater management improvements per the Stormwater Management Plan approved by the Public Works Department. The Engineer-of-Record shall certify that the construction of the drainage system was constructed per the approved plans.
 - d. Record an operations and maintenance agreement for all new stormwater quality features.
 3. Any modifications to the site layout, including but not limited to stormwater quality treatment facility type and location, shall be subject to review in accordance with CPMC 17.09, Modifications to Approved Plans and Conditions of Approval.

Attachments

Attachment "A-1" – Master Site Plan

Attachment "A-2" – Landscape Plan

Attachment "A-3" – Building Elevations

Attachment "B" – Applicant's Findings, dated 06/18/2024

Attachment "C" – Public Works Department Staff Report, dated 08/13/2024

Attachment "D" – Jackson County Roads Staff Report, dated 08/14/2024

Attachment "E" – Fire District No. 3 Staff Report, dated 08/08/2024

Attachment "F" – Rogue Valley Sewer Services Staff Report, dated 08/08/2024

Attachment "G" – Resolution No. 922

Action

Open a public hearing and consider the proposed Site Plan & Architectural Review application and 1) approve; 2) approve with revisions; or 3) deny the application.

Recommendation

Approve Resolution No. 922, a Resolution recommending approval of the Site Plan & Architectural Review application for the Grocery Outlet Supermarket development plan.

Recommended Motion

I move to approve Resolution No. 922, a Resolution recommending approval of the Site Plan & Architectural Review application for the Urgent Medical Care development plan per the Revised Staff Report dated September 3, 2024.

PRELIMINARY SITE PLAN GROCERY OUTLET

Proposed Grocery Store
SITUATED IN THE SE1/4 SW1/4 SECTION 02, T37S, R02W W.M.
JACKSON COUNTY, OREGON
CITY OF CENTRAL POINT
JULY 2024



VICINITY MAP
N.T.S.

SITE DATA & CALCULATIONS

TOTAL SITE AREA	2.24 ACRES
PROPOSED BUILDING FOOTPRINT	16,400 SQ FT
AS PAVED DRIVEWAY	1,000 SQ FT
TOTAL PAVED DRIVEWAY AREA	1,000 SQ FT
TOTAL PAVED AREA	17,400 SQ FT
PERMITTED SIDEWALK	100 SQ FT
TOTAL SIDEWALK AREA	100 SQ FT
PERMITTED BIKEWAY	0 SQ FT
TOTAL BIKEWAY AREA	0 SQ FT
UNPAVED DRIVEWAY	0 SQ FT
UNPAVED BIKEWAY	0 SQ FT

SITE REQUIREMENTS
Central Point Municipal Code Table 17.75.01

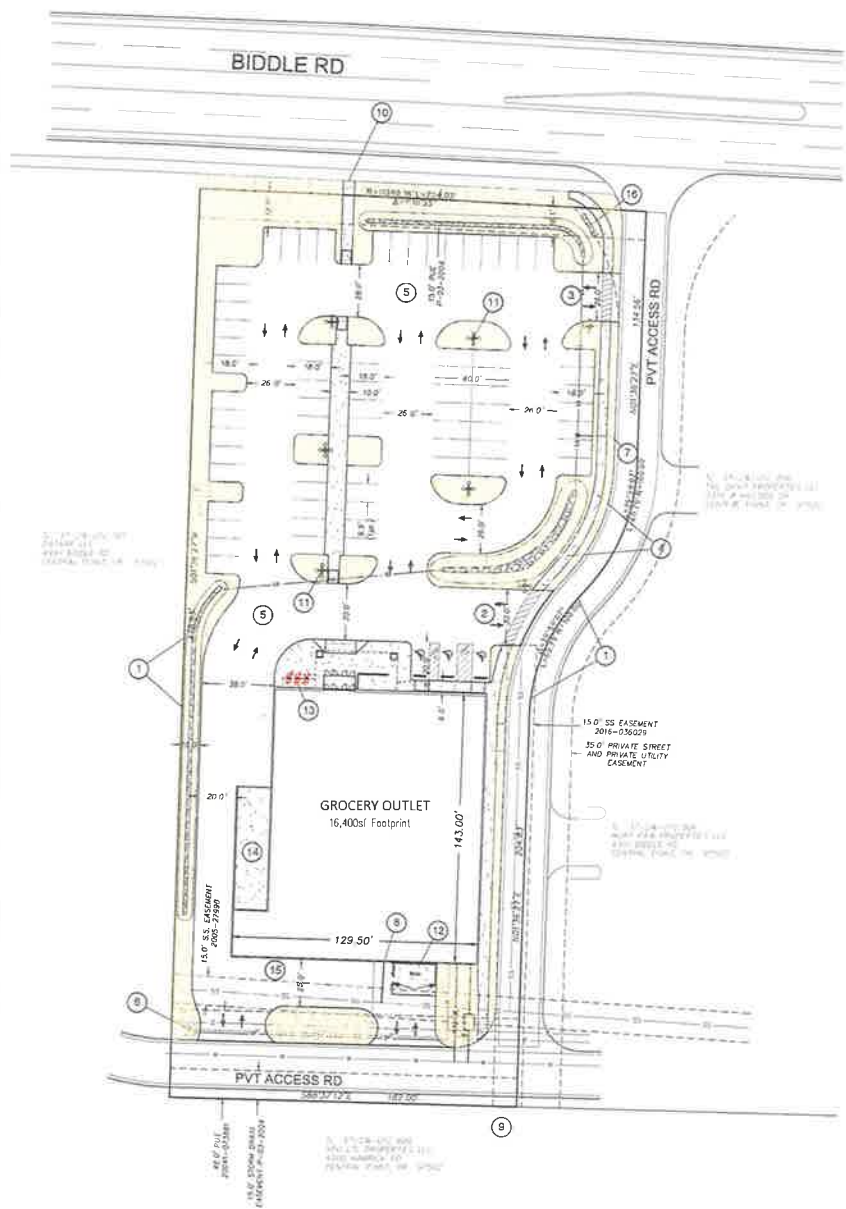
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MIN. DRIVEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY GRADE	2% MIN
MIN. DRIVEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY CURB	4 IN
MIN. DRIVEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY SIDEWALK	4 FT
MIN. DRIVEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY	5 FT
MIN. DRIVEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY CLEARANCE	7 FT 6 IN
MIN. DRIVEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY GRADE	2% MIN
MIN. DRIVEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY CURB	4 IN
MIN. DRIVEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY SIDEWALK	4 FT
MIN. DRIVEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY	5 FT
MIN. DRIVEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY CLEARANCE	7 FT 6 IN
MIN. DRIVEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY GRADE	2% MIN
MIN. DRIVEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY BIKEWAY CURB	4 IN
MIN. DRIVEWAY BIKEWAY	5 FT
MIN. DRIVEWAY BIKEWAY CLEARANCE	7 FT 6 IN
MIN. DRIVEWAY BIKEWAY	5 FT
MIN. DRIVEWAY BIKEWAY	5 FT

SITEPLAN NOTES:

- 1 PROPERTY LINE PER PARTITION PLAT P-13-2017
- 2 PROPOSED NEW ACCESS DRIVEWAY. WIDTH AS SHOWN.
- 3 EXISTING ACCESS DRIVEWAY TO BE USED FOR DEVELOPMENT. WIDTH AS SHOWN.
- 4 NEW 8' WIDE SIDEWALK ALONG NORTH/SOUTH PRIVATE ACCESS ROAD.
- 5 PROPOSED ASPHALT PARKING AREA 45' X 110' MIN.
- 6 POINT OF CONNECTION TO EXISTING POWER, TELEPHONE AND COMMUNICATIONS LINE. RUN SERVICE LINES TO BUILDING IN UNDERGROUND CONDUITS GENERALLY AS SHOWN.
- 7 POINT OF CONNECTION TO EXISTING STORMWATER SYSTEM. STORMWATER TO BE ROUTED TO EXISTING DETENTION BASINS WITH UNDERGROUND DETENTION STORAGE AS REQUIRED TO MEET T.V.S. STANDARDS.
- 8 PROPOSED SANITARY SEWER LATERAL CONNECTION TO EXISTING R.V.S.S. SEWER MAIN.
- 9 NEW WATER METER TO BE INSTALLED. NEW FIRE SERVICE WITH NEW FIRE HYDRANT TO BE CONSTRUCTED PER CITY STANDARDS.
- 10 PROPOSED PEDESTRIAN CONNECTIONS TO STREET SIDE SIDEWALK.
- 11 SITE LIGHTING ATTACHED TO BUILDING EXTERIOR AS WELL AS (7) LIGHT POLE FEATURES LOCATED IN THE PARKING LOT.
- 12 PROPOSED CMU SCREENED TRASH ENCLOSURE.
- 13 BIKEWAY PARKING - PROVIDE 16 SPACES FOR BIKEWAY PARKING.
- 14 RECEIVED LOADING DOCK.
- 15 UN GRADE LOADING AREA.
- 16 PROPOSED TENANT PARKING.

SHEET INDEX

SP01	PRELIMINARY SITEPLAN
LS01	PRELIMINARY LANDSCAPE PLAN



SITE DATA:

CONSTRUCTION OF NEW COMMERCIAL GROCERY STORE BUILDING WITH A TOTAL SITE AREA = 2.24 ACRES.

REQUIRED PARKING PER TABLE 17.64.02(B) OF THE CENTRAL POINT MUNICIPAL CODE (RETAIL SALES) REQUIRES 1 SPACE PER 1,000 SQ FT (16,400 SQ FT OF RETAIL / 1,000 SQ FT = 16.4 SPACES). TOTAL MAXIMUM NUMBER OF STALLS ALLOWED = 16.4. NO MINIMUM REQUIREMENT FOR PARKING.

APPLICANT IS PROPOSING 75 PARKING SPACES WHICH IS BELOW THE MAXIMUM NUMBER OF STALLS.

ONE ADA STALL IS REQUIRED FOR EVERY 25 PARKING SPACES. THEREFORE 3 ADA PARKING STALLS ARE REQUIRED AND PROVIDED.

0.33 BIKEWAY SPACES ARE REQUIRED FOR EVERY 1,000 SQ FT OF RETAIL AREA. 16,400 / 1,000 = 16.4. 16.4 BIKEWAY SPACES ARE PROVIDED NEAR THE FRONT ENTRANCE.

PROJECT INFORMATION:

ADDRESS: 4951 BIDDLE ROAD - CENTRAL POINT, OR MAP: 372414
TAX LOT: 802
ZONE: COMMERCIAL (C-3) TOURIST & OFFICE PROFESSIONAL SURROUNDING ZONE: C-3 & C-3 & R-2
ACREAGE: 2.24 ACRES
TERRAIN: GENTLY SLOPING UNDEVELOPED COMMERCIAL PROPERTY
STREETS: CITY OF CENTRAL POINT
STORM WATER: CENTRAL POINT & ROGUE VALLEY SEWER SERVICES
SANITARY SEWER: ROGUE VALLEY SEWER SERVICES
WATER SERVICE: CITY OF CENTRAL POINT
EXISTING LAND USE: HIGH DENSITY RESIDENTIAL
PROPOSED LAND USE: COMMERCIAL, OFFICE & RETAIL
UTILITIES: WATER, SEWER, GAS, POWER, TELEPHONE, CABLE, DMSIT

STORMWATER:

ALL RUNOFF FROM PROPOSED IMPERVIOUS SURFACES WILL BE COLLECTED AND ROUTED TO EXISTING STORMWATER TREATMENT AND DETENTION BASINS. THE SWALES WILL BE DESIGNED TO MAINTAIN INFILTRATION WHILE PROVIDING THE DETENTION STORAGE UNDER THE SWALE WITH A 12" PERFORATED PIPE AND ROCK FRENCH SECTION. A STORMWATER REPORT DETAILING THE DESIGN AND R.V.S.S. REQUIREMENTS WILL BE PROVIDED AT THE TIME OF ENGINEERING PLAN REVIEW.

STRUCTURAL ENGINEER:
STABILITY ENGINEERING INC.
777 NE 2ND ST - STE 280
CORVALLIS, OR 97333
(541) 323-3300
CONTACT: PAUL SCHROEDER, P.E.

CIVIL ENGINEER/PLANNER:
RHINE-CROSS GROUP
112 N 5th ST - SUITE 200
KLAMATH FALLS, OR 97601
(541) 851-9405
CONTACT: MARC CROSS, P.E.

OWNER:
RFS PROPERTIES, LLC
2315 W HILLSIDE DR
CENTRAL POINT, OR 97502

APPLICANT:
DICKERHOOF PROPERTIES
ATTN: DARREN DICKERHOOF
P.O. BOX 1581
CORVALLIS, OR 97339
(541) 754-3630

JURISDICTION:
CITY OF CENTRAL POINT
140 S 3RD ST
CENTRAL POINT, OR 97502
(541)664-3321

SURVEYOR:
RHINE-CROSS GROUP
112 N 5th ST - SUITE 200
KLAMATH FALLS, OR 97601
(541) 851-9405
CONTACT: ORLANDO AQUINO, P.L.S.

DICKERHOOF PROPERTIES
P.O. BOX 1583
CORVALLIS, OREGON 97339
(541) 754-3630

R-C RHINE-CROSS GROUP, INC.
ENGINEERING - SURVEYING - PLANNING
&
GROUP
112 N 5th ST - SUITE 200 - P.O. BOX 1581
KLAMATH FALLS, OREGON 97601
Phone: (541) 851-9405 Fax: (541) 754-3630
e-mail: rhine@r-cgr.com



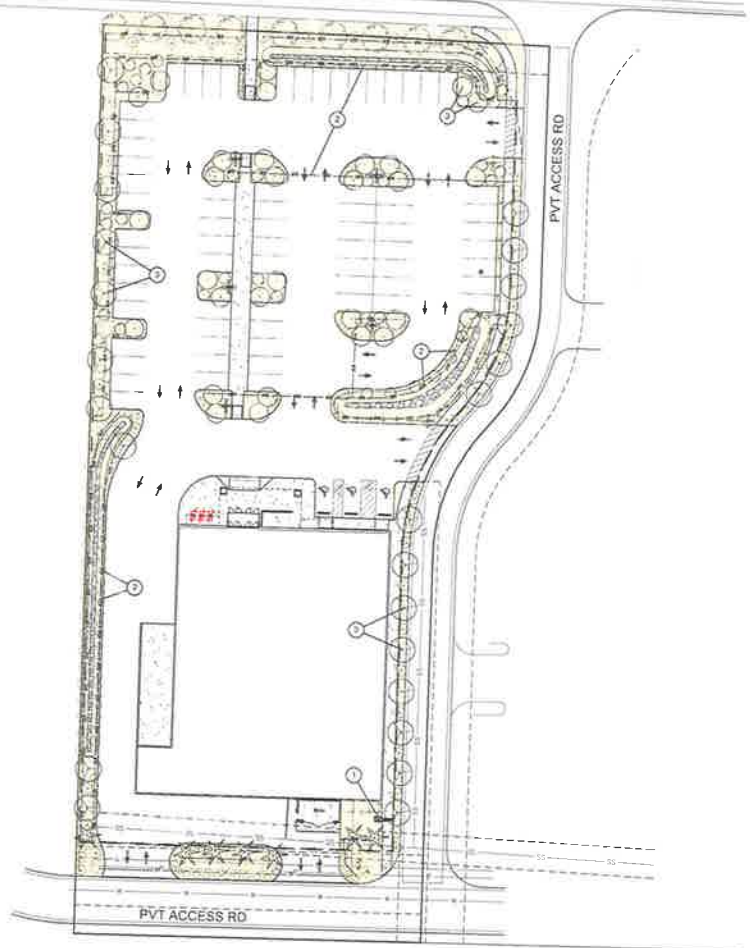
Grocery Outlet
4951 Biddle Road
CENTRAL POINT, OREGON

SHEET NAME	SITEPLAN
DRAWN BY	MDG
CHECKED BY	MDG
DATE	7/23/24
REVISIONS	
JOB NO.	2363
SHEET NO.	SP01

LANDSCAPE PLAN

GROCERY OUTLET

Proposed Grocery Store
 SITUATED IN THE SE1/4 SW1/4 SECTION 02, T37S, R02W W.M.
 JACKSON COUNTY, OREGON
 CITY OF CENTRAL POINT
 JULY 2024



SHADING LEGEND

- PROPOSED RIVER ROCK SWALE BOTTOM (957 sq ft.)
- PROPOSED 3" HEMLOCK MULCH (19,725 sq ft.)
- PROPOSED CONCRETE WALKWAY (5,214 sq ft.)
- PROPOSED ASPHALT AREA (43,904 sq ft.)

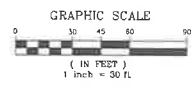
Irrigation Schedule

- 1 3-ZONE IRRIGATION CONTROL VALVE BOX, VALVE BOX TO BE FED BY EXISTING ON-SITE WELL. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN BUILD SYSTEM INCLUDING PUMP, CONTROLS, EXHAUSTION TANKS, ETC.
- 2 INSTALL DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS.
- 3 INSTALL DOUBLE TREE RING DRIPLINE AT EACH TREE LOCATION. FIRST RING SHALL BE 12" FROM TRUNK; SECOND RING 24" (TP) ALL TREES.

- 1 THIS PLAN IS DIAGRAMMATICAL. ALL PIPING, VALVES, SPRINKLER HEADS ETC SHALL BE INSTALLED BY LANDSCAPE CONTRACTOR AND FOLLOW THIS PLAN AS CLOSE AS IS PRACTICAL.
- 2 ALL MAINLINE IRRIGATION PIPES SHALL BE INSTALLED AT 24" DEPTH WITH LATERALS AT 12" DEPTH.
- 3 CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS AS NEEDED TO OBTAIN FULL COVERAGE.
- 4 ALL ROAD AND SIDEWALK CROSSING SHALL BE INSTALLED IN CLASS 200 PVC SLEEVES AT 24" MIN DEPTH.

LEGEND

- IRRIGATION MAINLINE PVC 3/4" 40 PIPE 1-1/2" DIA WITH 1/2" DIA LATERALS TO SPRINKLER HEADS
- DRIPLINE



REQUIRED LANDSCAPE PER CODE SECTION 17.75.039

1. Minimum 10% of the site area shall be planted with trees and shrubs.

2. Minimum 10% of the site area shall be planted with grass or other ground cover.

3. Minimum 10% of the site area shall be planted with native plants.

4. Minimum 10% of the site area shall be planted with drought-tolerant plants.

5. Minimum 10% of the site area shall be planted with plants that are suitable for the local climate.

6. Minimum 10% of the site area shall be planted with plants that are suitable for the local soil conditions.

7. Minimum 10% of the site area shall be planted with plants that are suitable for the local water conditions.

Tree Planting Schedule

Symbol	Quantity	Species	Size
	18	AZER PLATANUS NORWAY MAPLE - STREET TREE	2" CAL, 10-12' HT.
	23	SPYRODADUS DODUS KENTUCKY COFFEE TREE	2" CAL, 10-12' HT.
	29	AZER CORYLUS PAPERBARK MAPLE	2" CAL, 10-12' HT.
	7	AZER RUBRUM RED MAPLE	5-6' HT.

*STREET TREES MAY BE SUBSTITUTED TO COORDINATE WITH EXISTING STREET TREES ON BIDDLE ROAD FOR CONTINUITY

Shrub and Grass Planting Schedule

Symbol	Quantity	Species	Size
	84	SYMPHORICARPOS ALBUS COMMON SAGEBERRY	3" CAL.
	85	BERNEX HAEMATOXYLON RED BERRY	3" CAL.
	34	EDYMUS ALBUS COMPACT CONTACT BURNING BUSH	3" CAL.
	12	HELIOTROPICUM TEMPERARIUS BLUE DAT GRASS	5-6' HT.

DICKERHOOF PROPERTIES
 1000 BOX 1589
 COVINGTON, OREGON 97331
 (541) 754-9630

R-C RHINE-CROSS GROUP LLC
 ENGINEERING - SURVEYING - PLANNING
 112 N. 9th St., Suite 200 - P.O. Box 100
 Klamath Falls, Oregon 97601
 Phone: (541) 851-0605 Fax: (541) 271-9200
 rhinecrossgroup.com



Grocery Outlet
 4951 Biddle Road
 CENTRAL POINT, OREGON

CHEET HAIVE
 LANDSCAPE PLAN

DRAWN BY: MGC
 CHECKED BY: MGC

DATE: 7/15/24

SHEET NO: 3362

SHEET TITLE: LS01

**CENTRAL POINT
OREGON**

**SITE PLAN & ARCHITECTURAL REVIEW
APPLICATION
GROCERY OUTLET**

PROPERTY OWNER: RF5 PROPERTIES, LLC
2316 W HILLSIDE DRIVE
CENTRAL POINT, OREGON 97502

APPLICANT: DICKERHOOF PROPERTIES, LLC
PO BOX 1800
CORVALLIS, OREGON 97339

AGENT: RHINE-CROSS GROUP, LLC
112 N. 5TH STREET, SUITE 200
PO BOX 909
KLAMATH FALLS, OREGON 97601

LOCATION: 372W01C TAX LOT 802

ZONING DESIGNATION: THOROUGHFARE COMMERCIAL (C-5)

PROPERTY SIZE: 2.24 ACRES



**RHINE-CROSS GROUP, LLC
112 N 5TH STREET - SUITE 200
PO BOX 909
KLAMATH FALLS, OREGON 97601
(541) 851-9405**

***IN THE MATTER OF A TYPE III APPLICATION FOR THE APPROVAL OF
SITE PLAN AND ARCHITECTURAL REVIEW
GROCERY OUTLET
EAST PINE STREET/BIDDLE ROAD, CENTRAL POINT, OR
37S2W01C TAX LOT 802***

SECTIONS

1. Application Form
2. Legal Description
3. Written Authority Form Property Owner
4. Written Findings of Fact
5. Site Plan ~ Landscape Plan ~ Elevations
6. Mailing Labels

1)

APPLICATION FORM

***RF5 PROPERTIES LLC
LOCATION OF SUBJECT SITE
ALONG EAST PINE / BIDDLE ROAD
CENTRAL POINT, OR 97504
37S2W01C 802***



Site Plan & Architectural Review

140 South 3rd Street
 Central Point, OR 97502
 541.664.3321

www.centralpointoregon.gov

APPLICANT INFORMATION

Name Darren Dickerhoof
 Company Dickerhoof Properties
 Address: PO Box 1800
 City Corvallis State OR Zip code 97339
 Email darren@dickerhoof.com
 Telephone (Primary) 541-754-3630 (Secondary) _____

AGENT INFORMATION (Owner's consent required)

Name Lani Hickey/Planner Marc Cross/Engineer
 Company Rhine Cross Group, LLC
 Address: 112 N 5th Street - Suite 200, PO Box 909
 City Klamath Falls State OR Zip code 97601
 Email lani@rc-grp.com
 Telephone (Primary) 541-851-9405 (Secondary) _____

PROPERTY OWNER INFORMATION

Name Adam Reiss
 Company RF5 Properties LLC
 Address: 2316 W Hillside Drive
 City Central Point State OR Zip code 97502
 Email _____
 Telephone (Primary) _____ (Secondary) _____

PROJECT DESCRIPTION

Site Address(es): No situs address assigned
 Map & Tax Lot(s): 372W01C 802
 Gross Acreage: 2.24 Existing Right-of Way Acreage: _____
 Zoning District: Thoroughfare Commercial (C-5) Proposed Right-of-Way Acreage: _____
 Existing No. Units: 0 Proposed No. Units: 1 commercial store
 Flood Zone: N/A TOD Overlay: Yes No

PRE-APPLICATION CONFERENCE (Recommended for Type II applications; Required for Type III applications)

File No. Pre-24005 Date: June 14, 2024


APPLICATION CHECKLIST

Applications shall include all of the following submittals:

- Application Form (Signed)
- \$2,900 Application Fee
- Legal Description
- Property Owner Consent Form for agent authorization (if applicable)
- Written Findings of Fact denoting compliance with CPMC 17.65, 17.66, 17.67, 17.72 and 17.75 as applicable. For Type II applications, see CPMC 17.05.300(B)(2)(b). For Type III applications, see CPMC 17.05.400(B)(2)(b).
- Site Plan, Architectural Elevations with details, Landscape and Irrigation Plan, and Lighting Plan (if applicable)
 - o Three (3) copies drawn to scale
 - o One reduced paper copy (8 1/2 " x 11")
 - o PDF emailed to planning@centralpointoregon.gov
- Preliminary Stormwater Management Plan. Location and facility type/design must be shown on the Site and Landscape Plan at a minimum.
- Mailing labels for property owners within 250-feet of project site perimeter

I HEREBY STATE THAT THE FACTS RELATED IN THE ABOVE APPLICATION AND THE ENCLOSED PLANS AND DOCUMENTS ARE TRUE, CORRECT AND ACCURATE TO THE BEST OF MY KNOWLEDGE.

Property Owner Authorized Agent



Signature

7/12/24

Date

FOR OFFICE USE ONLY	
Date Received: _____	File No. _____
Date Accepted as Complete: _____	120-day Rule Date: _____

2)

LEGAL DESCRIPTION

***RF5 PROPERTIES LLC
LOCATION OF SUBJECT SITE
ALONG EAST PINE / BIDDLE ROAD
CENTRAL POINT, OR 97504
37S2W01C 802***



After recording return to:
RF5 Properties LLC

Until a change is requested all tax
statements shall be sent to the
following address:
RF5 Properties LLC

File No.: 7161-4022537 (RT)
Date: December 16, 2022

Jackson County Official Records **2023-000236**
R-WD
Stn=10 ALOUISB **01/05/2023 12:41:01 PM**
\$15.00 \$10.00 \$11.00 \$11.00 \$60.00 **\$107.00**

THIS SPACE RES

I, Christine Walker, County Clerk for Jackson County, Oregon, certify
that the instrument identified herein was recorded in the Clerk
records.
Christine Walker - County Clerk

STATUTORY WARRANTY DEED

Somara Investments, LLC, an Oregon limited liability company, Grantor, conveys and warrants to **RF5 Properties LLC limited liability company**, Grantee, the following described real property free of liens and encumbrances, except as specifically set forth herein:

LEGAL DESCRIPTION: Real property in the County of Jackson, State of Oregon, described as follows:

PARCEL 3 OF PARTITION PLAT NO. P-15-2017, RECORDED JUNE 09, 2015, IN THE RECORD OF PARTITION PLATS IN JACKSON COUNTY, OREGON, AND FILED AS SURVEY NO. 22265, IN THE OFFICE OF THE COUNTY SURVEYOR.

Subject to:

1. Covenants, conditions, restrictions and/or easements, if any, affecting title, which may appear in the public record, including those shown on any recorded plat or survey.

The true consideration for this conveyance is **\$800,000.00**. (Here comply with requirements of ORS 93.030)

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

Dated this 5 day of January, 2023

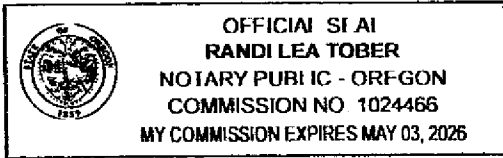
Somara Investments, LLC, an Oregon limited liability company, an Oregon limited liability company

By: [Signature]
Name: Jessica L. Gomez
Title: Member

By: [Signature]
Name: Patrick T. Kayatta
Title: Member

STATE OF Oregon)
)ss.
County of Jackson)

This instrument was acknowledged before me on this 5 day of January, 2023
by Jessica L. Gomez as Member of Somara Investments, LLC, an Oregon limited liability company, on
behalf of the limited liability company.



[Handwritten Signature]

Notary Public for Oregon
My commission expires: 5/3/26

Unofficial Copy

3)

**WRITTEN AUTHORITY FROM
PROPERTY OWNER**

***RF5 PROPERTIES LLC
LOCATION OF SUBJECT SITE
ALONG EAST PINE / BIDDLE ROAD
CENTRAL POINT, OR 97504
37S2W01C 802***



Property Owner Consent Form

140 South 3rd Street
Central Point, OR 97502
541.664.3321

www.centralpointoregon.gov

I/we, RF5 Properties LLC / Adam Reiss, the property owner(s) of
[Insert property owner name(s)]

no situs address assigned, identified on the Jackson County Assessor's Map as
[Insert site address]

372W01C 802, hereby consent to the filing of an application for
[Insert Map and Tax Lot number(s)]

Grocery Outlet on said property, and will allow Rhine Cross Group, LLC
[Insert Project Name] [Insert Agent Name]

to represent me before the City of Central Point approving authority.

PROPERTY OWNER SIGNATURE(S) *(Attach additional pages if needed)*

ADAM REISS
Print Name

[Signature] 7/12/24
Signature Date

Print Name

Signature Date

Print Name

Signature Date

4)

WRITTEN FINDINGS OF FACT

***RF5 PROPERTIES LLC
LOCATION OF SUBJECT SITE
ALONG EAST PINE / BIDDLE ROAD
CENTRAL POINT, OR 97504
37S2W01C 802***

**BURDEN OF PROOF
GROCERY OUTLET
CENTRAL POINT, OREGON**

Applicant: Dickerhoof Properties, LLC
PO Box 1800
Corvallis, Oregon 97339

Owner: RF5 Properties, LLC
2316 W Hillside Drive
Central Point, Oregon 97502

Representatives: Rhine-Cross Group, LLC
112 N 5th Street, Suite 200
PO BOX 909
Klamath Falls, OR 97601
Phone: (541) 851-9405

Location: The property is along East Pine Street/Biddle Road

Address: No situs address assigned

Reference Parcel No.: Tax Lot 802 Map No. 37S 2W 01C

Comp. Plan Designation: Commercial

Zoning Designation: C-5 Zone (Thoroughfare Commercial)

Proposal: Construction of Grocery Outlet

Date: June 18, 2024



PROJECT OVERVIEW & DESCRIPTION

The applicant intends construct an approximately +/-16,000 square foot grocery store, “Grocery Outlet” located along East Pine Street /Biddle Road, Central Point.

The site is currently undeveloped and consists of 2.24 acres. The site is served by Central Point Water Service, Rogue Valley Sewer Services storm drainage and sanitary sewer. Other utilities readily available are power, telephone, and cable TV all existing within the right-of-way of Biddle Road.

The subject property is currently designated C5=Thoroughfare Commercial. Supermarkets are permitted uses within this zoning and will be referred to the planning commission for further review, per Section 17.46.030 of the Central Point Municipal Code.

The subject property is relatively flat with existing water and sewer utilities available that are able to serve the project site. The site is served by Fire District No. 3 with fire hydrants located around the development site. The site is within the Airport Concern Overlay and will record a copy of an avigation easement prior to building permits.

This application for site plan improvements must denote compliance with Central Point Municipal Code (CPMC) 17.05, 17.46, 17.64, 17.72, 17.75, and 17.75 as applicable (Type III, see Section 17.,05.400.

Table of Contents

PROJECT overview & DESCRIPTION	2
CENTRAL POINT MUNICIPAL CODE (CPMC)	4
CHAPTER 17.05 APPLICATIONS AND DEVELOPMENT PERMIT REVIEW PROCEDURES	4
17.05.100 Purpose and applicability of review procedures.	4
17.05.400 Type III procedure.	4
CHAPTER 17.46: THOROUGHFARE COMMERCIAL DISTRICT	7
17.46.010 Purpose.	7
17.46.020 Permitted Uses	7
17.46.040 Height Regulations	8
17.46.050 Area, Width, and Yard Requirements	8
17.46.060 General Requirements	8
17.46.070 Signs and Lighting of Premises	9
17.46.080 Off-Street Parking	10
CHAPTER 17.64 Off-Street Parking and Loading	10
17.64.010 Purpose	10
17.64.030 Off-Street Loading	10
17.64.040 Off-Street Parking Requirements	11
17.64.050 Bicycle Parking	12
CHAPTER 17.75 Design and Development Standards	12
17.75.010 Purpose.	12
17.75.031 General Connectivity, Circulation and Access Standards	13
17.75.035 Commercial Site Design and Development Standards	14
17.75.039 Off-Street Parking Design and Development Standards	15
17.75.042 Commercial Building Design Standards	21

CENTRAL POINT MUNICIPAL CODE (CPMC)

CHAPTER 17.05 APPLICATIONS AND DEVELOPMENT PERMIT REVIEW PROCEDURES

17.05.100 Purpose and applicability of review procedures.

A. Purpose. The purpose of this chapter is to establish standard decision-making procedures that will enable the city, the applicant, and the public to review development permit applications and participate in the local decision-making process in a timely and effective way consistent with the citizen’s involvement element of the comprehensive plan. Table 17.05.1 provides a key to identify the review procedures, applicable regulations, and the approving authority for development permit applications.

B. Applicability of Review Procedures. All development permit applications identified in Table 17.05.1 shall be decided by using the appropriate procedures contained in this chapter. The procedural “type” assigned to each development permit application governs the decision-making process for that permit. There are four “types” of procedures: Type I, II, III, and IV, which are described as follows:

17.05.400 Type III procedure.

A. Pre-Application Conference. A pre-application conference is required for all Type III applications. The requirements and procedures for a pre-application conference are described in Section [17.05.600\(C\)](#).

Findings of Fact: A Pre-Application Conference was held for a Site Plan and Architectural Review June 14, 2024, and application for this project is subject to a Type III Review.

B. Application Requirements.

1. Application Forms. Type III applications shall be made on forms provided by the community development director or designee for the land development permit requested.
2. Submittal Requirements. When a Type III application is required, it shall include:
 - a. A completed application form with required attachments;
 - b. One copy of a narrative statement (findings and conclusions) that explains how the application satisfies each and all of the relevant criteria and standards in sufficient detail for review and decision-making. Note: Additional information may be required under the specific applicable regulations for each approval as referenced in Table 17.05.1;
 - c. The required fee; and
 - d. One set of pre-addressed mailing labels for all real property owners of record who will receive a notice of the application as required in subsection C of this section. The records of the Jackson County assessor’s office are the official records for determining ownership. The applicant shall produce the notice list using the most current Jackson

County assessor's real property assessment records to produce the notice list. The city shall mail the notice of application. The failure of a property owner to receive notice as provided in subsection C of this section shall not invalidate such proceedings provided the city can demonstrate by affidavit that such notice was given.

Findings of Fact: All application requirements are included within the planning submittal packet and payment will be made upon submittal to the City of Central Point.

C. Notification Requirements.

1. Mailed Notice. The city shall mail the notice of the Type III hearing. Notice of a Type III hearing shall be given by the community development director or designee in the following manner:

a. At least twenty days before the hearing date, or if two or more hearings are allowed, ten days before the first hearing, notice shall be mailed to:

i. The applicant and all owners or contract purchasers of record of the property on the most recent property tax assessment roll that is the subject of the application;

ii. All property owners of record on the most recent property tax assessment roll within two hundred fifty feet of the site, including tenants of a mobile home or manufactured dwelling park;

iii. Any governmental agency that is entitled to notice under an intergovernmental agreement entered into with the city. The city may notify other affected agencies. The city shall notify the county road authority, or ODOT, and rail authority when there is a proposed development abutting or within two hundred fifty feet of an affected transportation facility and allow the agency to review, comment on, and suggest conditions of approval for the application;

iv. Owners of airports in the vicinity shall be notified of a proposed zone change in accordance with ORS [227.175](#);

v. Any neighborhood or community organization recognized by the city council and whose boundaries include the property proposed for development;

vi. Any person who submits a written request to receive notice;

vii. At the applicant's discretion, notice may also be provided to the Department of Land

b. Content of Notice. Notice of a Type III hearing shall be mailed per this subsection C and shall contain the following information:

i. An explanation of the nature of the application and the proposed land use or uses that could be authorized for the property;

- ii. The applicable criteria and standards from the zoning and subdivision code and comprehensive plan that apply to the application;
- iii. The street address or other easily understood geographical reference to the subject property;
- iv. The date, time, and location of the public hearing;
- v. A statement that the failure to raise an issue in person, or in writing at the hearing, or failure to provide statements or evidence sufficient to afford the decision-maker an opportunity to respond to the issue prior to the close of the final hearing means that an appeal based on that issue cannot be raised at the State Land Use Board of Appeals;
- vi. The name of a city representative to contact and the telephone number and email address where additional information on the application may be obtained;
- vii. A statement that a copy of the application, all documents and evidence submitted by or for the applicant, and the applicable criteria and standards can be reviewed at the city of Central Point City Hall at no cost and that copies shall be provided at a reasonable cost;
- viii. A statement that a copy of the city's staff report and recommendation to the hearings body shall be available for review at no cost at least seven days before the hearing, and that a copy shall be provided on request at a reasonable cost;
- ix. A general explanation of the requirements to submit testimony, and the procedure for conducting public hearings; and
- x. The following notice:

Notice to mortgagee, lien holder, vendor, or seller: The City of Central Point Land Development Code requires that if you receive this notice it shall be promptly forwarded to the purchaser.

Findings of Fact: The applicant acknowledges the notification requirements and will work with Central Point Planning as necessary to comply with these mailing notice requirements.

- c. The community development director or designee shall prepare an affidavit of notice and the affidavit shall be made a part of the file. The affidavit shall state the date that the notice was mailed to the persons who were sent notice.

Findings of Fact: Applicant acknowledges (c) above and the preparation of an affidavit of notice that will be made part of the file.

- 2. On-Site Posting. Public notice signs shall be posted on the project site for any Type III land use action according to the following:

a. Contents of Sign. Notice signs shall include a description of the proposed land use action, the date of the public hearing, and the city of Central Point file number for the proposed land use action.

b. Location and Number of Signs. A posted notice sign must be placed on each existing street frontage of the project site. If a frontage is over six hundred feet long, a notice is required for each six hundred feet or fraction thereof. Notice signs must be posted within ten feet of a property line along the street and must be visible to pedestrians and motorists. Notice signs may not be posted in a public right-of-way unless the land use action specifically pertains to a public right-of-way. If posting must occur in the right-of-way, care should be taken to comply with clear vision area requirements as set forth in Section [17.60.120](#).

c. Sign Posting Schedule. The required sign(s) shall be posted not later than twenty-one days prior to the first public hearing date of each body that hears the application. Posted signs shall be removed within ten days following the final decision.

d. Affidavit of On-Site Posting. The director or designee shall prepare an affidavit of on-site notice posting and the affidavit shall be made part of the file. The affidavit shall state the date that the notice was posted, the number of notices posted and the name of the person(s) who posted the notice.

Findings of Fact: Applicant acknowledges the posting requirements and will comply with this as required by the Planning Director or designee as noted above.

CHAPTER 17.46: THOROUGHFARE COMMERCIAL DISTRICT

17.46.010 Purpose.

The C-5 district is intended to provide for commercial and business uses that are most appropriately located along or near major highways or thoroughfares and are largely dependent upon highway visibility and easy vehicular access. (Ord. 1883 (part), 2006; Ord. 1436 §2(part), 1981).

Findings of Fact: The proposed project and location is within the C-5 District and shall comply with the applicable codes pertaining to this zoning and district as noted in the application submittal.

17.46.020 Permitted Uses

The following uses are permitted in the C-5 district:

C. Retail outlets, including but not limited to:

8. Supermarket

Findings of Fact: The proposed project is the construction of a Grocery Outlet which is a permitted use under 17.46.020(C)(8) as noted above.

17.46.040 Height Regulations

No building or structure shall exceed thirty-five feet in height in the C-5 district. (Ord. 1436 §2(part), 1981).

Findings of Fact: The proposed new Grocery Outlet does not exceed thirty-five feet in height meeting this criterion.

17.46.050 Area, Width, and Yard Requirements

A. Lot Area. No requirements except as necessary to comply with applicable yard and parking and loading requirements.

Findings of Fact: The subject property consists of 2.24 acres providing adequate space for parking and loading requirements.

B. Lot Width. The minimum lot width shall be fifty feet.

Findings of Fact: The subject property exceeds the minimum 50' at +/-185 feet meeting this criterion.

C. Lot Depth. The minimum lot depth shall be one hundred feet.

Findings of Fact: The subject property exceeds the minimum 100' at +/-485 feet meeting this criterion.

D. Front Yard. The front yard shall be a minimum of ten feet and shall be maintained as landscaped open space. When off-street parking is located in the front yard area, the landscaped strip may be reduced to not less than six feet with planning commission approval of the site plan.

Findings of Fact: The front yard exceeds the 10' minimum with parking located between the store and Biddle Road. The area between the parking lot and road right-of-way is 16.1 feet and is landscaped open space with a bio-swale on the east side.

E. Side Yard. The side yard shall be a minimum of five feet, except when abutting structures are proposed with a common wall that complies with the Uniform Building Code.

Findings of Fact: Side yard exceeds the minimum of five feet being proposed at ten feet. No common walls are proposed for this project.

F. Rear Yard. No rear yard shall be required in the C-5 district except when the rear lot line abuts property in a residential (R) district and then the rear yard shall be a minimum of twenty feet. Where property in the C-5 district is separated from property in a residential (R) district by a public alley or street, no rear yard setback shall be required.

Findings of Fact: Acknowledged, the property does not abut residential zoned lands.

G. Lot Coverage. No requirements except as necessary to comply with applicable yard, parking and loading requirements. (Ord. 1436 §2(part), 1981).

Findings of Fact: Acknowledged

17.46.060 General Requirements

A. Uses that are normally permitted in the C-5 district but that are referred to the planning commission for further review, per Section [17.46.030\(26\)](#), will be processed according to application procedures for conditional use permits. No use shall be permitted and no process, equipment or materials shall be used which are found by the planning commission to be harmful to persons living

or working in the vicinity by reason of odor, fumes, dust, smoke, cinders, dirt, refuse, water-carried waste, noise, vibration, illumination or glare, or are found to involve any hazard of fire or explosion.
Findings of Fact: No equipment or materials proposed are harmful to persons living or working in the vicinity by reason of odor, fumes, dust, smoke, cinders, dirt, refuse, water-carried waste, noise, vibration illumination or glare, or any hazard of fire or explosion.

B. No use shall be permitted and no process, equipment or materials shall be used unless in compliance with all applicable state and federal environmental, health and safety regulations.
Findings of Fact: All equipment and materials used shall be in compliance with all applicable state and federal environmental, health and safety regulations.

C. Wherever the side or rear property lines of a parcel in the C-5 district abut parcels in a residential (R) district, a solid wall or fence, vine-covered open fence or compact evergreen hedge six feet in height shall be located on that property line and continuously maintained to ensure effective buffering and visual screening between the two land uses. Where a public alley or street separates the two properties, the barrier or screen shall be placed on the C-5 property at the time of construction and may include driveway and pedestrian openings to the alley or street, as approved by the planning commission.
Findings of Fact: N/A, no property lines abut a residential (R) district.

D. Whenever feasible, buildings shall be located toward the rear of the lot with parking toward the street in the front yard area for easy access and to minimize traffic noise at the rear of the property, especially when the rear property line abuts a residential (R) district. (Ord. 1684 §46, 1993; Ord. 1615 §44, 1989; Ord. 1436 §2(part), 1981).
Findings of Fact: The building is sited at the rear of the lot with parking toward the main street (Biddle Road) for easy access to minimize traffic noise at the rear of the property.

17.46.070 Signs and Lighting of Premises

A. No illuminated sign or lighting standard used for the illumination of premises shall be so designed and installed that its direct rays are toward or parallel to a public street or highway or directed toward any property that lies within a residential (R) district.
Findings of Fact: No illuminated signs or lighting are designed to direct rays towards or parallel to a public street or directed toward any property that lies within a residential zone. The property does not abut residential zoning.

B. No red, green or amber lights or illuminated signs may be placed in such a location or position that they could be confused with, or may interfere with, any official traffic control device, traffic signal or directional guide signs.
Findings of Fact: Applicant acknowledges (B) above and will comply with this standard.

C. Signs in the C-5 district shall be permitted and designed in accordance with Chapter [15.24](#) and with Section [17.60.110](#). (Ord. 1615 §17, 1989; Ord. 1436 §2(part), 1981).
Findings of Fact: All proposed signage will be permitted and designed in accordance with Chapter 15.24 and Section 17.60.110.

17.46.080 Off-Street Parking

Off-street parking and loading space shall be provided as required in Chapter [17.64](#). (Ord. 1436 §2(part), 1981).

Findings of Fact: Proposed off-street parking complies with Chapter 17.64 as noted within this Findings of Fact document.

CHAPTER 17.64 Off-Street Parking and Loading

17.64.010 Purpose

It is the purpose of this chapter, through the management of off-street parking, loading and bicycle spaces, to manage auto dependence and encourage the use of alternative transportation modes in accordance with the policies and strategies of the city's transportation system plan and state transportation planning rule requirements for climate-friendly and equitable communities.

The requirements and standards set forth in this chapter are intended to ensure the usefulness of parking, loading and bicycle facilities; protect the public safety; and mitigate potential adverse impacts on adjacent land uses. (Ord. 2100 § 9 (Exh. A), 2023; Ord. 1946 (part), 2011; Ord. 1436 §2(part), 1981).

17.64.030 Off-Street Loading

A. Purpose. The purpose of this section is to provide adequate loading areas for commercial and industrial uses to avoid interference with the operation of adjacent streets.

Findings of Fact: As shown on the site plan the loading area is placed to avoid interference with the operation of adjacent streets. The recessed loading dock is located away from any streets and on the northwest side of the building away from parking and streets.

B. Applicability. The minimum off-street loading requirements in Table 17.64.01 shall apply in all zoning districts with commercial and industrial uses that will require the receipt or distribution of materials or merchandise by truck or similar vehicle.

Findings of Fact: The applicant is proposing one (1) loading dock meeting the loading dock criteria as noted in Table 17.64.01.

C. Location.

1. Off-street loading facilities shall be located on the same lot or parcel as the structure they are intended to serve.

Findings of Fact: Loading dock is located on the same lot as the structure it is intended to serve.

2. Off-street loading areas shall not be placed between a building and street frontage unless the following apply:

a. The site has frontage along a public street on two or more sides;

b. The off-street loading area is not located on the primary building facade.

Findings of Fact: Loading dock is not placed or proposed between the new building and any street frontages.

3. Off-street loading areas shall not be within any required front, side or rear yard setback.

Findings of Fact: Proposed loading dock is not within any side or rear setbacks, criterion met.

4. Loading spaces shall not project into any public right-of-way or otherwise interfere with the public use of streets or alleys, sidewalks, or any clear vision triangle.

Findings of Fact: Proposed loading dock does not project into any public right-of-way or otherwise interfere with the public use of streets or alleys, sidewalks, or any clear vision triangle.

TABLE 17.64.01 OFF-STREET LOADING REQUIREMENTS

OFFICES, HOTELS AND OTHER NONGOODS HANDLING USES	
Sq. Ft. of Floor Area	No. of Loading Berths Required
0--50,000	0
50,001--200,000	1
Over 200,000	2 plus 1 for each 100,000 sq. ft.

Findings of Fact: The proposed project is proposing a recessed loading dock.

17.64.040 Off-Street Parking Requirements

A. Minimum and Maximum Vehicle Parking Requirements.

1. The minimum and maximum off-street vehicle parking space requirements are set forth in Table 17.64.02 and shall apply to all development unless modified in accordance with subsection C of this section.

2. Any parking provided to serve a building or use shall include parking spaces accessible to disabled persons in accordance with the Americans with Disabilities Act and subsection D of this section. Accessible spaces provided shall count toward the maximum number of permitted spaces in Table 17.64.02.

3. Land use categories and their associated uses are subject to the definitions in Section [17.08.410](#) unless otherwise noted. For purposes of this chapter, if there is a conflict between the definitions in Section [17.08.410](#) and a defined term elsewhere in the code, Section [17.08.410](#) takes precedence.

TABLE 17.64.02 MINIMUM AND MAXIMUM OFF-STREET PARKING STANDARDS

Land Use Category	Parking Standards (No. spaces per 1,000 square feet of gross floor area unless otherwise noted)	
	Minimum No. Required Spaces	Maximum No. Permitted Spaces
COMMERCIAL USES		
Sales-Oriented	0 spaces	5 spaces

Findings of Fact: The maximum allowable parking spaces for 16,400 sf equals 5 spaces per 1,000 sf. Total maximum number of stalls = 82. Applicant is proposing 75 parking spaces which is below the maximum.

17.64.050 Bicycle Parking

A. Purpose. The bicycle parking and storage provisions in this section are intended to provide bicycle parking facilities to accommodate and encourage bicycle travel.

B. Bicycle Parking Standards. Bicycle parking shall be provided in accordance with Table 17.64.043, Bicycle Parking Requirements.

TABLE 17.64.043 BICYCLE PARKING REQUIREMENTS

Land Use	Minimum Required
Retail Sales	0.33 spaces per 1,000 sq. ft.

Findings of Fact: Required parking spaces in accordance with Table 17.64.043 retail uses must provide 0.33 spaces per 1,000 square feet of floor area, or a total of 5 bicycle spaces. The proposed development provides 6 bicycle spaces meeting this criterion.

CHAPTER 17.75 Design and Development Standards

17.75.010 Purpose.

The purpose of this chapter is to set forth clear and objective design and development standards to facilitate the submittal and review of development proposals in a manner that implements the goals and policies of the comprehensive plan to maintain and enhance the city’s small town environment. The standards set forth in this chapter are considered minimums and may be, on a case by case basis, supplemented by the approving authority as necessary to mitigate impacts on abutting property that are unique to the proposed development. (Ord. 1946 (part), 2011).

17.75.031 General Connectivity, Circulation and Access Standards

The purpose of this section is to assure that the connectivity and transportation policies of the city's Transportation System Plan are implemented. In achieving the objective of maintaining and enhancing the city's small town environment it is the city's goal to base its development pattern on a general circulation grid using a walkable block system. Blocks may be comprised of public/private street right-of-way, or accessways.

A. Streets and Utilities. The public street and utility standards set forth in the City of Central Point Department of Public Works Standard Specifications and Uniform Standard Details for Public Works Construction shall apply to all development within the city.

Findings of Fact: No new streets are proposed with this development.

B. Block Standards. The following block standards apply to all development:

1. Block perimeters shall not exceed two thousand feet measured along the public street right-of-way, or outside edges of accessways, or other acknowledged block boundary as described in subsection (B)(4) of this section.
2. Block lengths shall not exceed six hundred feet between through streets or pedestrian accessways, measured along street right-of-way, or the pedestrian accessway. Block dimensions are measured from right-of-way to right-of-way along street frontages. A block's perimeter is the sum of all sides.
3. Accessways or private/retail streets may be used to meet the block length or perimeter standards of this section, provided they are designed in accordance with this section and are open to the public at all times.
4. The standards for block perimeters and lengths may be modified to the minimum extent necessary based on written findings that compliance with the standards are not reasonably practicable or appropriate due to:
 - a. Topographic constraints;
 - b. Existing development patterns on abutting property which preclude the logical connection of streets or accessways;
 - c. Major public facilities abutting the property such as railroads and freeways;
 - d. Traffic safety concerns;
 - e. Functional and operational needs to create large commercial building(s); or
 - f. Protection of significant natural resources.

Findings of Fact: Applicant shall comply with access standards where required by City of Central Point.

C. Driveway and Property Access Standards. Vehicular access to properties shall be located and constructed in accordance with the standards set forth in the City of Central Point Department of Public Works Standard Specifications and Uniform Standard Details for Public Works Construction, Section 320.10.30, Driveway and Property Access.

Findings of Fact: Acknowledged

D. Pedestrian Circulation. Attractive access routes for pedestrian travel shall be provided through the public sidewalk system, and where necessary supplemented through the use of pedestrian accessways as required to accomplish the following:

1. Reducing distances between destinations or activity areas such as public sidewalks and building entrances;

Findings of Fact: Pedestrian pathways are provided from Biddle Road south along the property and private drive, providing safe access through the property and along the new building.

2. Bridging across barriers and obstacles such as fragmented pathway systems, wide streets, heavy vehicular traffic, and changes in level by connecting pedestrian pathways with clearly marked crossings and inviting sidewalk design;

Findings of Fact: Applicant shall provide pedestrian pathways with clearly marked crossing bridging across barriers and obstacles such as fragmented pathway systems, wide streets, and heavy vehicular traffic.

3. Integrating signage and lighting system which offers interest and safety for pedestrians;

Findings of Fact: The pedestrian pathways shall be lighted offering safety for pedestrians.

4. Connecting parking areas and destinations with retail streets or pedestrian accessways identified through use of distinctive paving materials, pavement striping, grade separation, or landscaping.

Findings of Fact: Pedestrian accessways are identified use of the use of distinctive paving materials and grade separation.

E. Accessways, Pedestrian. Pedestrian accessways may be used to meet the block requirements of subsection B of this section. When used pedestrian accessways shall be developed as illustrated in Figure 17.75.01. All landscaped areas next to pedestrian accessways shall be maintained, or plant materials chosen, to maintain a clear sight zone between three and eight feet from the ground level. Trees shall be planted to provide a fifty percent canopy cover over the accessway.

Findings of Fact: Pedestrian accessways are not being proposed to meet block requirements, however all proposed landscape areas next to pedestrian accessway shall be maintained for a clear sight zone between three and eight feet from the ground level.

17.75.035 Commercial Site Design and Development Standards

A. Commercial Site Design Standards. The lot area, dimension, set back, and coverage requirements for development within commercial districts shall be subject to the standards set forth in Table 17.75.01.

TABLE 17.75.01 COMMERCIAL SITE DEVELOPMENT STANDARDS

	Commercial District		
	C-N	C-4	C-5
Lot Area	N.A.	N.A.	N.A.
Lot Width	N.A.	N.A.	50 ft.
Lot Depth	N.A.	N.A.	100 ft.
Setbacks			
Front Yard	N.A.	N.A.	N.A.
Side Yard	N.A.	N.A. ¹	N.A. ¹
Rear Yard	N.A.	N.A. ^{2,3}	N.A. ^{2,3}
Lot Coverage	50%	N.A.	N.A.
Bldg. Height	35 ft.	60 ft.	35 ft.
1. Unless otherwise demonstrated at time of site plan and architectural approval wherever the side or rear yard property lines of a commercially zoned parcel abut parcels in a residential district, a solid wall or fence, vine-covered open fence or compact evergreen hedge six feet in height shall be located on that property line and continuously maintained to ensure effective buffering and visual screening between the two land uses.			
2. Where abutting a residential zone the rear yard setbacks shall be a minimum of ten feet.			
3. Except when the rear property line abuts any residential district or any unincorporated lands, the rear yard shall be increased by one-half foot for each foot of building height in excess of twenty feet.			

FINDINGS OF FACT: The proposed Grocery Outlet meets Commercial site development standards as shown in Table 17.75.01. The building height does not exceed 35 feet and does not abut a residential zone.

17.75.039 Off-Street Parking Design and Development Standards

All off-street vehicular parking spaces shall be improved to the following standards:

A. Connectivity. Parking lots for new development shall be designed to provide vehicular and pedestrian connections to adjacent sites unless as a result of any of the following such connections are not possible:

1. Topographic constraints;
2. Existing development patterns on abutting property which preclude a logical connection;
3. Traffic safety concerns; or
4. Protection of significant natural resources.

Findings of Fact: The proposed parking lot provides and is designed with vehicular and pedestrian connections to adjacent sites by way of pedestrian sidewalks and easily accessible vehicle access points on the east and south side of the development to existing streets.

B. Parking Stall Minimum Dimensions. Standard parking spaces shall conform to the following standards and the dimensions in Figure 17.75.03 and Table 17.75.02; provided, that compact parking spaces permitted in accordance with Section [17.64.040\(G\)](#) shall have the following minimum dimensions:

1. Width--Shall be as provided in column B in Table 17.75.02;
2. Length--Shall reduce column C in Table 17.75.02 by no more than three feet.

Findings of Fact: Each parking space provides 18' x 9.9' meeting the width and length criterion.

C. Access. There shall be adequate provision for ingress and egress to all parking spaces.

Findings of Fact: Adequate access is provided by two ingress/egress driveways off of the east private access road and two ingress/egress driveways off of the south private access road.

D. Driveways. Driveway width shall be measured at the driveway's narrowest point, including the curb cut. The design and construction of driveways shall be as set forth in the Standard Specifications and Public Works Department Standards and Specifications.

Findings of Fact: Applicant acknowledges design and construction of driveways and shall follow the standards applicable to private road standards.

E. Improvement of Parking Spaces.

1. When a concrete curb is used as a wheel stop, it may be placed within the parking space up to two feet from the front of a space. In such cases, the area between the wheel stop and landscaping need not be paved, provided it is maintained with appropriate ground cover, or walkway. In no event shall the placement of wheel stops reduce the minimum landscape or walkway width requirements.

Findings of Fact: Spaces locate between the concrete curb is provided with areas maintained with appropriate ground cover and/or walkways.

2. All areas utilized for off-street parking, access and maneuvering of vehicles shall be paved and striped to the standards of the city of Central Point for all-weather use and shall be adequately drained, including prevention of the flow of runoff water across sidewalks or other pedestrian areas. Parking areas shall be designed with painted striping or other approved method of delineating the individual spaces, with the exception of lots containing single-family or two-family dwellings.

Findings of Fact: All areas utilized for off-street parking, access and maneuvering of vehicles shall be paved and striped to the standards of the city of Central Point and shall be adequately drained, including prevention of the flow of runoff water across sidewalks or other pedestrian areas.

3. Parking spaces shall be designed so that no backing movements or other maneuvering within a street or other public right-of-way shall be necessary, except for one- and two-family dwellings with frontage on a local street per the city of Central Point street classification map.

Findings of Fact: No parking spaces are designed that allow backing movements or other maneuvering within a street or other public right-of-way shall be necessary.

4. Any lighting used to illuminate off-street parking or loading areas shall be so arranged as to direct the light away from adjacent streets or properties.

Findings of Fact: All lighting used for off-street parking or loading areas are arranged as to direct the light away from adjacent streets and properties.

5. Service drives shall have a minimum vision clearance area formed by the intersection of the driveway centerline, the street right-of-way line, and a straight line joining the lines through points twenty feet from their intersection.

Findings of Fact: Acknowledged

6. Parking spaces located along the outer boundaries of a parking lot shall be contained by a curb or a bumper rail so placed to prevent a motor vehicle from extending over an adjacent property line, a public street, public sidewalk, or a required landscaping area.

Findings of Fact: All parking spaces located along the outer boundaries of the parking lot are contained by curbs

7. Parking, loading, or vehicle maneuvering areas shall not be located within the front yard area or side yard area of a corner lot abutting a street in any residential (R) district, nor within any portion of a street setback area that is required to be landscaped in any commercial (C) or industrial (M) district.

Findings of Fact: No parking is proposed within any portion of a street setback area that is required to be landscaped.

8. Except as provided in subsection (E)(3) of this section, all uses, including one- and two-family dwellings on arterial and collector streets, shall provide adequate vehicle turnaround and maneuvering area through the use of aisle extensions and/or turnaround spaces as illustrated in Figure 17.75.04 and 17.75.05. Functionally equivalent turnaround and maneuvering designs may be permitted by the approving authority through the site plan and architectural review process.

Findings of Fact: Acknowledged

F. Limitation on Use of Parking Areas. Parking facilities shall be so designed and maintained as not to constitute a nuisance at any time, and shall be used in such a manner that no hazard to persons or property, or unreasonable impediment to traffic, will result.

Findings of Fact: The parking area is designed and will be maintained as not to constitute a nuisance at any time, and shall be used in such a manner that no hazard to persons or property, or unreasonable impediment to traffic will result.

G. Parking/Loading Facility and Street Frontage Landscaping and Screening. Parking lot landscaping shall be used to reinforce pedestrian and vehicular circulation, including parking lot entries, pedestrian accessways, and parking aisles. To achieve this objective the following minimum standards shall apply; however, additional landscaping may be recommended during the site plan and architectural review process (Chapter [17.72](#)). All parking lots shall be landscaped in accordance with the following standards:

Findings of Fact: The proposed parking lot is designed with landscaping in accordance with the following standards as shown on the site plan. The applicant acknowledges that additional landscaping may be recommended during the site plan and architectural review process.

TABLE 17.75.03

PARKING/LOADING FACILITY PERIMETER AND STREET FRONTAGE LANDSCAPING STANDARDS

Street Frontage	Min. Planting Area Width	Plants Required per 100 Lineal Ft. of Street Frontage	
		Trees	Shrubs
Arterial/Collector	15 ft.	4	20
Local	10 ft.	3	15
Perimeter (Abutting) Land Use		Plants Required per 100 Lineal Ft. of Abutting Property	
Residential	20 ft.	4	20
Commercial	10 ft.	3	15
Industrial	5 ft.	2	10

1. Perimeter and Street Frontage Landscaping Requirements. The perimeter and street frontage for all parking facilities shall be landscaped according to the standards set forth in Table 17.75.03.

Findings of Fact: As shown on the Landscape Plan, tree and shrub coverage for street frontage is calculated using 4 trees and 20 shrubs per 100 feet meeting this criterion.

2. Terminal and Interior Islands. For parking lots in excess of ten spaces all rows of parking spaces must provide terminal a minimum of six feet in width to protect parked vehicles, provide visibility, confine traffic to aisles and driveways, and provide a minimum of five feet of space for landscaping. In addition, when ten or more vehicles would be parked side-by-side in an abutting configuration, interior landscaped islands a minimum of eight feet wide must be located within the parking row. Location of interior landscape islands may be consolidated subject to the site plan and architectural review approval as necessary to address site constraints or to provide continuous canopy coverage per subsection I of this section.

The minimum number of trees required in the interior landscape area shall be dependent upon the size and location of the parking lot in relation to the building and public right-of-way. Parking lots greater than or equal to one-half acre shall be subject to the requirements of subsection I of this section for large parking lot design and mitigation. Parking lots less than one-half acre in size shall provide trees at the following minimum ratios:

- a. Where the parking lot is located between the building and the public right-of-way, one tree for every four spaces;
- b. Where the parking lot is located to the side of the building and partially abuts the public right-of-way, one tree for every six spaces;
- c. Where the parking lot is located behind the building and is not visible from the public right-of-way, one tree for every eight spaces.

Findings of Fact: The proposed parking does not exceed ten spaces per row. The required landscaping per code section 17.75.039 provides 4 trees and 20 shrubs/100 feet of Arterial Street Frontage (4x2.34=9.36 trees and 20x2.34=47 shrubs minimum) and is met with the proposed landscaping as shown on the plan. Side perimeter landscaping requirement is 3

trees and 15 shrubs/100 ft of abutting property ($3 \times 4.79 = 14$ trees and $15 \times 4.79 = 72$ shrubs) as shown on the landscape plan. Parking lot trees=one tree for every 4 parking spaces ($72 \times 4 = 18$ trees minimum) with the proposed landscape plan meeting this criterion. Total onsite parking area = $45,110 \text{ sf} \times 40\% = 18,044 \text{ sf}$ of shade required. Parking lot trees will provide 750 sf of shade per tree at 15-year maturity. Required number of parking lot trees = $18,044 / 750 = 24$ parking lot trees minimum which is met with the provided landscape plan.

3. Bioswales. The use of bioswales within parking lots is encouraged and may be located within landscape areas subject to site plan and architectural review. The tree planting standards may be reduced in areas dedicated to bioswales subject to site plan and architectural review.

Findings of Fact: Bioswales are proposed with this project located at three areas within the project area.

H. Bicycle Parking. The amount of bicycle parking shall be provided in accordance with Section [17.64.050](#) and constructed in accordance with the following standards:

1. Location of Bicycle Parking. Required bicycle parking facilities shall be located on site in well-lit, secure locations within fifty feet of well-used entrances. Bicycle parking shall have direct access to both the public right-of-way and to a main entrance of the principal use. Bicycle parking may also be provided inside a building in suitable, secure and accessible locations. Bicycle parking for multiple uses (such as in a commercial center) may be clustered in one or several locations.

Findings of Fact: Proposed bicycle parking is located on site and in a well-lit area, secure within fifty feet of the main entrance. The bicycle parking has direct access to public rights-of-way and is clustered in one area meeting the requirements of (H) above.

2. Bicycle Parking Design Standards. All bicycle parking and maneuvering areas shall be constructed to the following minimum design standards:

a. Surfacing. Outdoor bicycle parking facilities shall be surfaced in the same manner as a motor vehicle parking area or with a minimum of a three-inch thickness of hard surfacing (i.e., asphalt, concrete, pavers or similar material). This surface will be maintained in a smooth, durable and well-drained condition.

Findings of Fact: Surfacing is acknowledged and is provided with this project and shall be maintained in a smooth, durable and well drained condition.

b. Parking Space Dimension Standard. Bicycle parking spaces shall be at least six feet long and two feet wide with minimum overhead clearance of seven feet.

Findings of Fact: The six proposed bicycle parking spaces are designed at six feet long and two feet wide with minimum overhead clearance of seven feet.

c. Lighting. Lighting shall be provided in a bicycle parking area so that all facilities are thoroughly illuminated and visible from adjacent sidewalks or motor vehicle parking lots during all hours of use.

Findings of Fact: Lighting is provided at the bicycle parking area so that the facility is thoroughly illuminated and visible from adjacent sidewalks and motor vehicle parking lots during hours of use.

d. Aisles. A five-foot aisle for bicycle maneuvering shall be provided and maintained beside or between each row of bicycle parking.

Findings of Fact: The proposed bicycle maneuvering area provides a minimum of five feet.

e. Signs. Where bicycle parking facilities are not directly visible from the public rights-of-way, entry and directional signs shall be provided to direct bicycles from the public rights-of-way to the bicycle parking facility.

Findings of Fact: Acknowledged.

I. Large Parking Lot Design. Large surface parking lots defined as net surface parking areas equal to or greater than one-half acre (twenty-one thousand seven hundred eighty square feet) shall comply with the following. See subsection B of this section for parking stall dimensions.

1. Large Parking Lot Design Standards. Developments must provide the following design features:

a. Pedestrian facilities between building entrances and pedestrian facilities in the adjacent public right-of-way; and

b. Buildings built-up to pedestrian facilities;

c. Trees planted along parking lot driveways, per Section [12.36.100\(C\)](#), or a minimum of thirty percent tree canopy coverage over parking areas. The tree spacing and species planted must be designed to maintain a continuous canopy, except when interrupted by driveways, drive aisles and other site design considerations. Developments are not required to provide trees along drive aisles and other site design considerations.

Findings of Fact: The proposed site plan meets a-c above as shown on the site and landscape plans.

2. Large Parking Lot Mitigation. Lots equal to or greater than one-half acre shall install one of the following:

a. Install solar panels with a generation capacity of at least 0.5 kilowatt per new surface parking space anywhere on the property.

b. Install landscaping for a continuous tree canopy covering at least forty percent of the new parking lot area at maturity, but no more than fifteen years after planting.

c. Any tree canopy plan, including any trees planted along parking lot driveways, shall be created in coordination with the local electric utility, including predesign, design, building, and maintenance phases. The submitted site plan shall demonstrate the following:

- i. Conformity with the Central Point approved street tree list;
- ii. A shade study indicating the percent of surface pavement shaded at maturity;
- iii. Soils and irrigation installed so as to maximize health and chances for survival, including removal of construction debris and use of structural soils if necessary.

Findings of Fact: The proposed parking mitigation proposes forty percent of tree canopy within 15 years of planting.

3. Public buildings may use green technologies in construction to comply with OAR [330-135-0010](#). (Ord. 2100 §§ 22--24, 2023; Ord. 2034 §§14, 15, 2017; Ord. 2014 §11, 2015; Ord. 1946 (part), 2011).

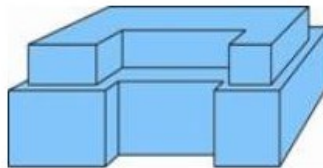
17.75.042 Commercial Building Design Standards

The following design standards are applicable to development in all commercial zoning districts, and are intended to assure pedestrian scale commercial development that supports and enhances the small town character of the community. All publicly visible buildings shall comply with the standards set forth in this section.

A. Massing, Articulation, Transparency, and Entrances.

1. Building Massing. The top of the building shall emphasize a distinct profile or outline with elements such as a projecting parapet, cornice, upper level setback, or pitched roofline.

Findings of Fact: Building is designed with a distinct entry Façade, two entry awnings and a parapet around the entire structure.



2. Facade Articulation. Facades longer than forty feet and fronts on a street, sidewalk, accessway or residential area shall be divided into small units through the use of articulation, which may include offsets, recesses, staggered walls, stepped walls, pitched or stepped rooflines, overhangs, or other elements of the building’s mass.

Findings of Fact: All proposed facades have vertical columns spaces less than forty feet apart for façade articulation.

For purposes of complying with the requirements in this subsection “facade articulation” shall consist of a combination of two of the following design features:

- a. Changes in plane with a depth of at least twenty-four inches, either horizontally or vertically, at intervals of not less than twenty feet and not more than forty feet; or
- b. Changes of color, texture, or material, either horizontally or vertically, at intervals of not less than twenty feet and not more than one hundred feet; or
- c. A repeating pattern of wall recesses and projections, such as bays, offsets, reveals or projecting ribs, that has a relief of at least eight inches.

Findings of Fact: Design features B and C are used for façade articulations. Vertical and horizontal offsets/reveals as well as color changes are proposed.



3. Pedestrian Entrances. For buildings facing a street, a primary pedestrian entrance shall be provided that is easily visible, or easily accessible, from the street right-of-way, or a pedestrian accessway. To ensure that building entrances are clearly visible and identifiable to pedestrians the principal entry to the building shall be made prominent with canopies or overhangs.

To achieve the objectives of this subsection the design of a primary entrance should incorporate at least three of the following design criteria:

- a. For building facades over two hundred feet in length facing a street or accessway provide two or more public building entrances off the street;
- b. Architectural details such as arches, friezes, tile work, murals, or moldings;
- c. Integral planters or wing walls that incorporate landscape or seating;
- d. Enhanced exterior light fixtures such as wall sconces, light coves with concealed light sources, ground-mounted accent lights, or decorative pedestal lights;
- e. Prominent three-dimensional features, such as belfries, chimneys, clock towers, domes, spires, steeples, towers, or turrets; and
- f. A repeating pattern of pilasters projecting from the facade wall by a minimum of eight inches or architectural or decorative columns.

Findings of Fact: The pedestrian entrance/façade includes decorative columns, recessed lighting, two awnings, horizontal reveals and an exterior vestibule.

4. Transparency. Transparency (glazing) provides interest for the pedestrian, connects the building exterior and interior, puts eyes on the street/parking, promotes reusability, and provides a human-scale element on building facades. The transparency standard applies to a building's principal facade. Projects subject to this section shall meet the following glazing requirements:

a. A minimum of forty percent of a facade wall face area, the area from finished ground floor elevation to twelve feet above finished floor elevation, shall be comprised of transparent glazing from windows or doors. Reflective or tinted glass or film is not permitted on ground floor facade windows. The forty percent minimum transparency requirement may be reduced through the site plan and architectural review process upon demonstration that a proposed alternative design achieves the transparency objectives. See subsection (A)(4)(e) of this section for alternative design solutions.

Findings of Fact: The North wall (entry side) is 1336 sf (grade to 12'0") and has roughly 45% transparent glazing from windows and doors.



c. If a single-story building has a facade taller than twenty feet, the facade area above fifteen feet is subject to the same window requirement as the second floor requirement in subsection (A)(4)(b) of this section.

Findings of Fact: The façade and structure is over twenty feet tall. No windows are proposed above 12'0" A.F.F.(See below)

d. Any building wall facade that is built up to an interior mid-block property line is not required to have glazing on that facade if no prohibitions and no contractual or legal impediments exist that would prevent a building being constructed on the adjacent property up to the wall of the facade.

Findings of Fact: Not applicable to this project.

e. Where transparent windows are not provided on at least forty percent of a building wall facade (or portions thereof) to meet the intent of this section, at least three of the following elements shall be incorporated:

- i. Masonry (but not flat concrete block);
- ii. Concrete or masonry plinth at wall base;
- iii. Belt courses of a different texture and color;
- iv. Projecting cornice;
- v. Projecting awning/canopy (minimum four-foot overhang);
- vi. Decorative tile work;
- vii. Trellis containing planting;
- viii. Artwork of a scale clearly visible from the associated right-of-way;
- ix. Vertical articulation;
- x. Lighting fixtures;
- xi. Recesses or bays;
- xii. Use of other architectural elements not listed that is demonstrated to meet the intent of this section.

Findings of Fact: The pedestrian entrance/façade includes decorative columns, recessed lighting, two awnings, horizontal reveals an exterior vestibule, split face cmu and stucco finishes.

5. Wall Faces. As used in this section there are three types of wall faces. To ensure that buildings do not display unembellished walls visible from a public street or residential area the following standards are imposed:

- a. Facade Wall Face. Facade wall faces greater than forty feet in length shall be divided into small units through the use of articulation, which may include offsets, recesses, staggered walls, stepped walls, pitched or stepped rooflines, overhangs, or other elements of the building's mass.

Findings of Fact: All wall faces facing public streets or residential property include decorative columns, or other decorative features spaced no further than forty feet on center.

For purposes of complying with the requirements in this subsection facade wall faces shall consist of a combination of two of the following design features:

- i. Changes in plane with a depth of at least twenty-four inches, either horizontally or vertically, at intervals of not less than twenty feet and not more than forty feet; or
- ii. Changes of color, texture, or material, either horizontally or vertically, at intervals of not less than twenty feet and not more than one hundred feet; or
- iii. A repeating pattern of wall recesses and projections, such as bays, offsets, reveals or projecting ribs, that has a relief of at least eight inches at intervals of not less than twenty feet and not more than forty feet.

Findings of Fact: Color/material changes and projections are the main design features utilized.

b. Building Wall Face. As applicable each building wall face shall be given architectural treatment to meet the intent of this section by using three or more of the following:

- i. Varying rooflines with one foot or greater changes of height at least every forty feet;
- ii. Transparent windows that comprise at least forty percent of the visible facade;
- iii. Secondary entrances that include glazing and landscape treatment;
- iv. Balconies;
- v. Awnings/canopies;
- vi. Planted trellises;

- vii. Projecting cornices at least twelve inches in height;
- viii. Variation in building form and materials demonstrated to meet the intent of this section.

Findings of Fact: A signage façade (where occurs), a CMU enclosure (where occurs), awnings and decorative columns are used as architectural features.

- c. Other Wall Faces. Other wall faces abutting residential areas shall comply with the requirements for building wall faces. Other wall faces not abutting residential areas are exempt from this section.

Findings of Fact: No wall faces abut residential areas.

6. Screening of Service Areas and Rooftop Equipment. Publicly visible service areas, loading zones, waste disposal, storage areas, and rooftop equipment (mechanical and communications) shall be fully screened from the ground level of nearby streets and residential areas within two hundred feet; the following standards apply:

- a. Service Areas.
 - i. A six-foot masonry enclosure, decorative metal fence enclosure, a wood enclosure, or other approved materials complementary to adjacent buildings; or
 - ii. A six-foot solid hedge or other plant material screening as approved.

Findings of Fact: Rooftop equipment will be screened by the parapet. The trash and recycling will be enclosed with 6+ foot tall CMU walls and gates.

- b. Rooftop Equipment.

- i. Mechanical equipment shall be screened by extending parapet walls or other roof forms that are integrated with the architecture of the building. Painting of rooftop equipment or erecting fences are not acceptable methods of screening.
- ii. Rooftop-mounted voice/data transmission equipment shall be integrated with the design of the roof, rather than being simply attached to the roof-deck.

Findings of Fact: Rooftop equipment will be screened by the parapet.

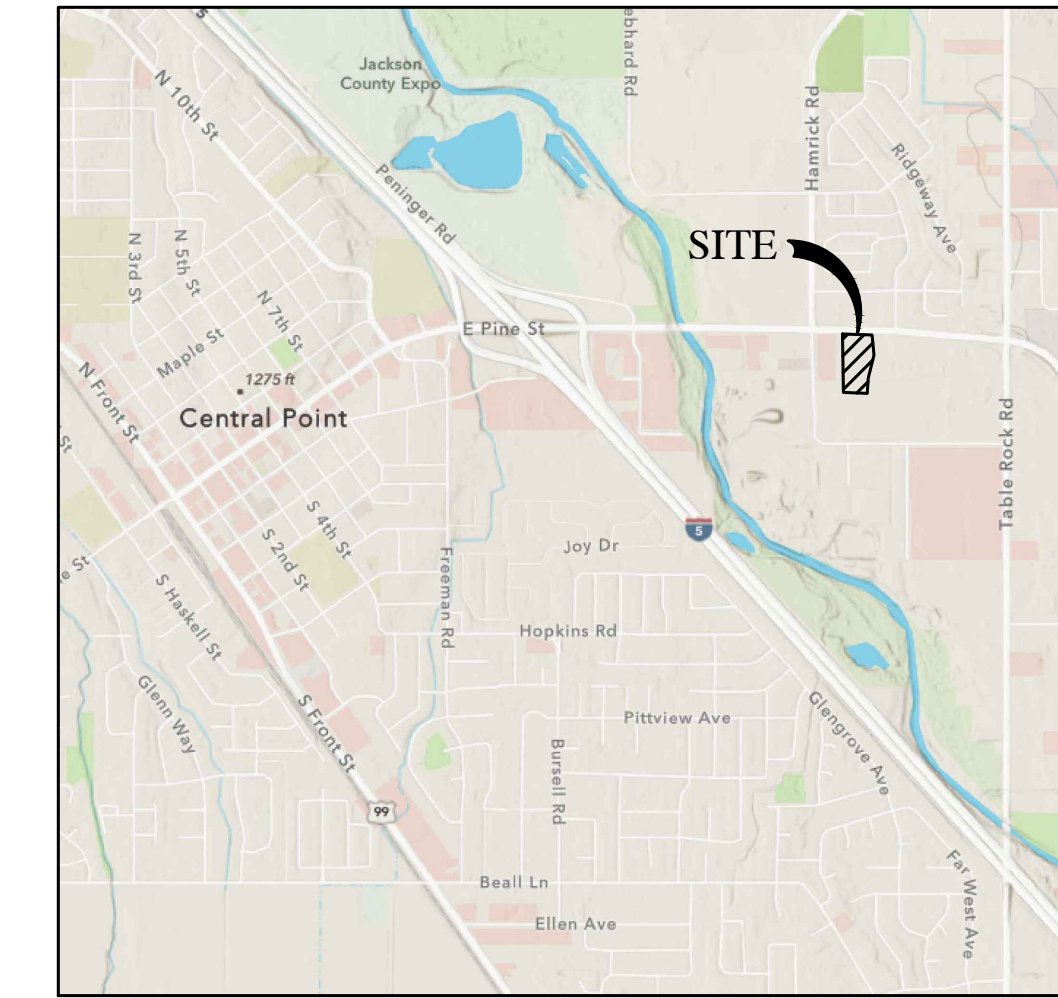
5)

**SITE PLAN
LANDSCAPE PLAN
ELEVATIONS**

***RF5 PROPERTIES LLC
LOCATION OF SUBJECT SITE
ALONG EAST PINE / BIDDLE ROAD
CENTRAL POINT, OR 97504
37S2W01C 802***

PRELIMINARY SITE PLAN GROCERY OUTLET

Proposed Grocery Store
SITUATED IN THE SE1/4 SW1/4 SECTION 02, T37S, R02W W.M.
JACKSON COUNTY, OREGON
CITY OF CENTRAL POINT
JULY 2024



VICINITY MAP
N.T.S.

SITE DATA & CALCULATIONS

TOTAL PARCEL AREA:	97,418 sq.ft.
PROPOSED BUILDING FOOTPRINT:	16,400 sq.ft.
% BUILDING COVERAGE:	16.8 %
TOTAL ONSITE PAVED PARKING AREA :	45,110 sq.ft.
EXISTING PAVED PRIVATE ROADWAYS:	10,233 sq.ft.
TOTAL PAVED AREAS:	55,343 sq.ft.
% PAVED COVERAGE:	56.8%
TOTAL SIDEWALK AREA:	6,180 sq.ft.
% SIDEWALK COVERAGE:	6.4%
LANDSCAPE:	19,495 sq.ft.
LANDSCAPE COVERAGE:	20.0%

SITE REQUIREMENTS
(C-5 COMMERCIAL DISTRICT)
Central Point Municipal Code Table 17.75.01

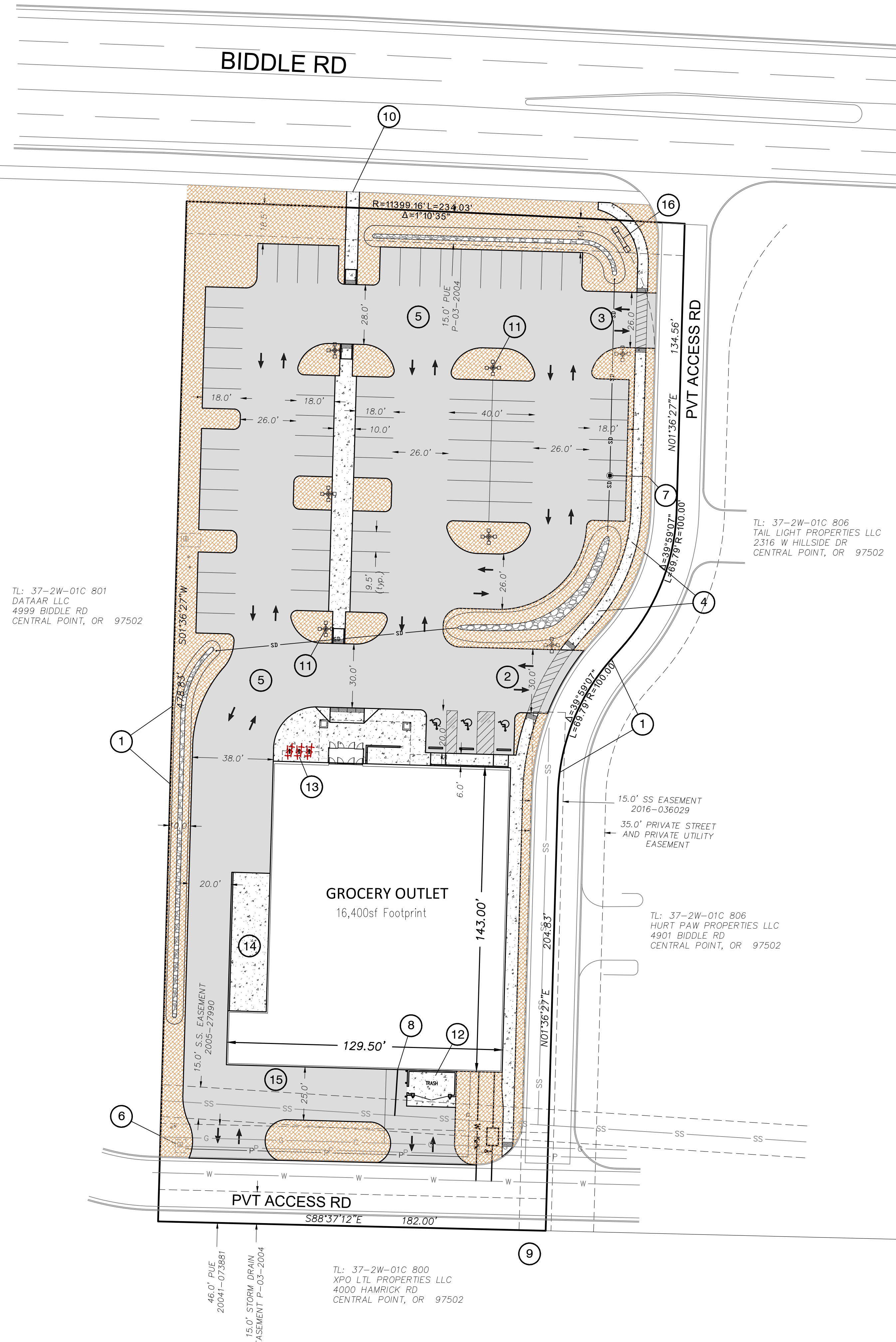
SETBACKS:	
FRONT (BIDDLE ROAD)	0 ft
SIDE	0 ft
REAR:	0 ft
* - WHERE C-5 ABUTS A RESIDENTIAL ZONE, THE MINIMUM REAR SETBACK SHALL BE 10 FT, PLUS 0.5' ADDITIONAL SETBACK PER 1 FT OF BUILDING HEIGHT OVER 20 FEET. ADDITIONALLY A 6' HIGH WALL OR FENCE SHALL BE MAINTAINED ON THE SIDE PROPERTY LINE BETWEEN THE TWO USES. THIS DOES NOT APPLY TO THIS PROJECT BECAUSE THERE IS NO ADJACENT RESIDENTIALLY ZONE PROPERTIES.	
MAXIMUM BUILDING HEIGHT:	35 ft

SITEPLAN NOTES:

- 1 PROPERTY LINE PER PARTITION PLAT P-15-2017
- 2 PROPOSED NEW ACCESS DRIVEWAY, WIDTH AS SHOWN
- 3 EXISTING ACCESS DRIVEWAY TO BE USED FOR DEVELOPMENT, WIDTH AS SHOWN.
- 4 NEW 5' WIDE SIDEWALK ALONG NORTH-SOUTH PRIVATE ACCESS ROAD.
- 5 PROPOSED ASPHALT PARKING AREA 45,110 sq. ft.
- 6 POINT OF CONNECTION TO EXISTING POWER, TELEPHONE, AND COMMUNICATIONS LINE. RUN SERVICE LINES TO BUILDING IN UNDERGROUND CONDUITS GENERALLY AS SHOWN.
- 7 POINT OF CONNECTION TO EXISTING STORM SYSTEM. STORMWATER TO BE ROUTED TO ONSITE VEGETATED SWALES WITH UNDERGROUND DETENTION STORAGE AS REQUIRED TO MEET R.V.S.S. STANDARDS.
- 8 PROPOSED SANITARY SEWER LATERAL CONNECTION TO EXISTING R.V.S.S. SEWER MAIN.
- 9 NEW WATER METER TO BE INSTALLED. NEW FIRE SERVICE WITH NEW FIRE HYDRANT TO BE CONSTRUCTED PER CITY STANDARDS.
- 10 PROPOSED PEDESTRIAN CONNECTIONS TO STREET SIDE SIDEWALK
- 11 SITE LIGHTING ATTACHED TO BUILDING EXTERIOR AS WELL AS (7) LIGHT POLE FIXTURES LOCATED IN THE PARKING LOT.
- 12 PROPOSED CMU SCREENED TRASH ENCLOSURE
- 13 BICYCLE PARKING - PROVIDE (6) SPACES FOR BICYCLE PARKING
- 14 RECESSED LOADING DOCK
- 15 ON GRADE LOADING AREA
- 16 PROPOSED TENANT PYLON SIGN

SHEET INDEX

SP01	PRELIMINARY SITEPLAN
LS01	PRELIMINARY LANDSCAPE PLAN



SITE DATA:

CONSTRUCTION OF NEW COMMERCIAL GROCERY STORE BUILDING WITH A TOTAL SITE ACREAGE = 2.24 ACRES

REQUIRED PARKING PER TABLE 17.64.02(B) OF THE CENTRAL POINT MUNICIPAL CODE:
(RETAIL SALES) REQUIRES 1 SPACE PER 1,000 SQ.FT.
16,400 SQ.FT. OF RETAIL / 200 SQ.FT. = 82 SPACES
TOTAL MAXIMUM NUMBER OF STALLS ALLOWED = 82
NO MINIMUM REQUIREMENT FOR PARKING.

APPLICANT IS PROPOSING 75 PARKING SPACES WHICH IS BELOW THE MAXIMUM NUMBER OF STALLS.

20% OF PROPOSED PARKING SHALL BE EV READY

ONE ADA STALL IS REQUIRED FOR EVERY 25 PARKING SPACES, THEREFORE 3 ADA PARKING SPACES ARE REQUIRED AND PROVIDED.

0.33 BICYCLE PARKING SPACES ARE REQUIRED FOR EVERY 1000 SQ.FT. OF RETAIL AREA: 16,400 / 1000 * 0.33 = 5.41 SPACES REQUIRED. 6 BICYCLE PARKING SPACES ARE PROVIDED NEAR THE FRONT ENTRANCE.

PROPERTY INFORMATION:

ADDRESS: 4951 BIDDLE ROAD - CENTRAL POINT, OR
MAP: 372W1C
TAX LOT: 802
ZONE: COMMERCIAL (C-5) TOURIST & OFFICE PROFESSIONAL
SURROUNDING ZONE: C-5 & C-4 & M-2
ACREAGE: 2.24 ACRES
TERRAIN: GENTLY SLOPING UN-DEVELOPED COMMERCIAL PROPERTY
STREETS: CITY OF CENTRAL POINT
STORM WATER: CENTRAL POINT & ROGUE VALLEY SEWER SERVICES
SANITARY SEWER: ROGUE VALLEY SEWER SERVICES
WATER SERVICE: CITY OF CENTRAL POINT
EXISTING LAND USE: HIGH DENSITY RESIDENTIAL
PROPOSED LAND USE: COMMERCIAL OFFICE & RETAIL
UTILITIES: WATER, SEWER, GAS, POWER, TELEPHONE, CABLE ONSITE

STORMWATER:

ALL RUNOFF FROM PROPOSED IMPERVIOUS SURFACES WILL BE COLLECTED AND ROUTED TO ONSITE STORMWATER TREATMENT AND DETENTION SWALES. THE SWALES WILL BE DESIGNED TO MAXIMIZE INFILTRATION WHILE PROVIDING THE DETENTION STORAGE UNDER THE SWALE WITH A 12" PERFORATED PIPE AND ROCK TRENCH SECTION. A STORMWATER REPORT DETAILING THE DESIGN AND R.V.S.S. REQUIREMENTS WILL BE PROVIDED AT THE TIME OF ENGINEERING PLAN REVIEW.

STRUCTURAL ENGINEER:
STABILITY ENGINEERING INC
777 NE 2nd ST - STE 280
CORVALLIS, OR 97333
(541) 223-5360
CONTACT: PAUL SCHROEDER, P.E.

CIVIL ENGINEER/PLANNER:
RHINE-CROSS GROUP
112 N 5th ST - SUITE 200
KLAMATH FALLS, OR 97601
(541) 851-9405
CONTACT: MARC CROSS, P.E.

OWNER:
RFS PROPERTIES, LLC
2316 W HILLSIDE DR
CENTRAL POINT, OR 97502

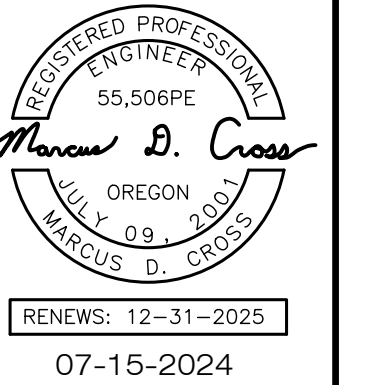
APPLICANT:
DICKERHOOF PROPERTIES
ATTN: DARREN DICKERHOOF
P.O. BOX 1583
CORVALLIS, OR 97339
(541) 754-3630

JURISDICTION:
CITY OF CENTRAL POINT
140 S. 3RD ST
CENTRAL POINT, OR 97502
(541)664-3321

SURVEYOR:
RHINE-CROSS GROUP
112 N 5th ST - SUITE 200
KLAMATH FALLS, OR 97601
(541) 851-9405
CONTACT: ORLANDO AQUINO, P.L.S.

DICKERHOOF PROPERTIES
P.O. BOX 1583
CORVALLIS, OR 97339
(541) 754-3630

RHINE-CROSS GROUP LLC
ENGINEERING - SURVEYING - PLANNING
112 N 5th ST - SUITE 200 - P.O. BOX 909
KLAMATH FALLS, OREGON 97601
Phone: (541) 851-9405
Fax: (541) 273-9200
admin@rc-grp.com



Grocery Outlet
4951 Biddle Road
CENTRAL POINT OREGON

SHEET NAME:
SITEPLAN

DRAWN BY: MDC
CHKD BY: MDC
DATE: JULY 2024

REVISIONS:

JOB NO. 2363

SHEET NO.

SP01

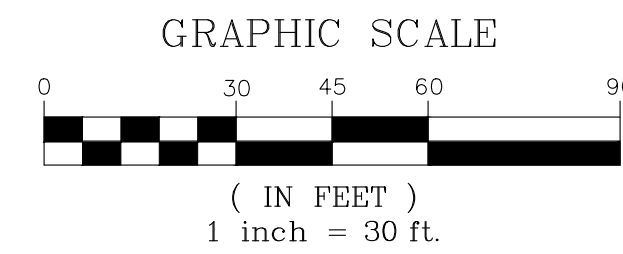
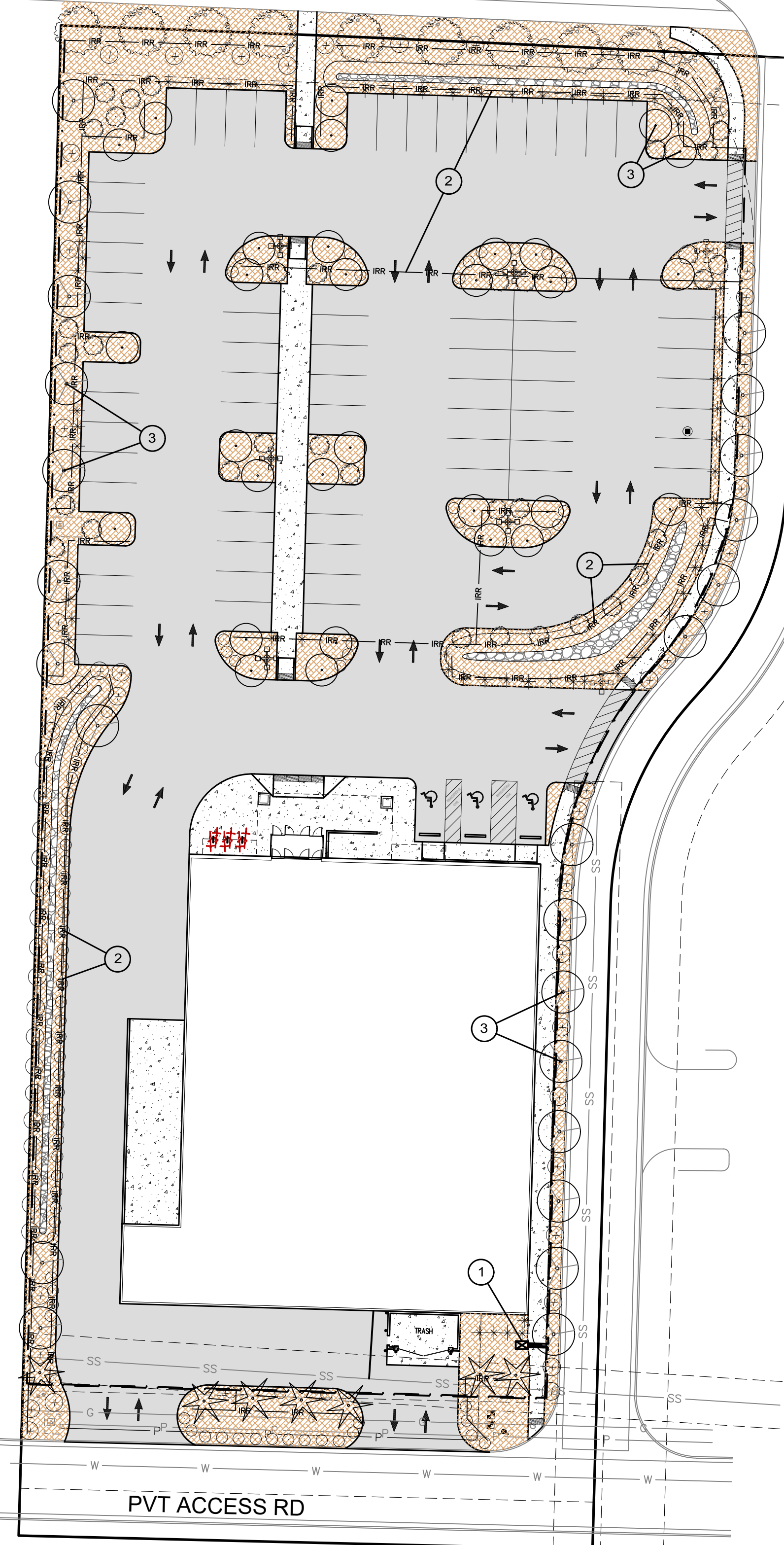
LANDSCAPE PLAN

GROCERY OUTLET

Proposed Grocery Store
 SITUATED IN THE SE1/4 SW1/4 SECTION 02, T37S, R02W W.M.
 JACKSON COUNTY, OREGON
 CITY OF CENTRAL POINT
 JULY 2024

BIDDLE RD

PVT ACCESS RD



SHADING LEGEND:

- PROPOSED RIVER ROCK SWALE BOTTOM (957 sq.ft.)
- PROPOSED 3" HEMLOCK MULCH (19,125 sq.ft.)
- PROPOSED CONCRETE WALKWAY (5,214 sq.ft.)
- PROPOSED ASPHALT AREA (43,904 sq.ft.)

REQUIRED LANDSCAPE PER CODE SECTION 17.75.039:

Street Frontage: 4 Trees and 20 Shrubs/100 ft of Arterial Street Frontage
 4x2.34 = 9.36 trees and 20x2.34 = 47 shrubs minimum

Side Penmeter: 3 Trees and 15 Shrubs/100 ft of abutting property
 3x4.79 = 14 Trees and 15x4.79 = 72 Shrubs minimum

Parking Lot Trees = One Tree for every 4 parking spaces
 72/4 = 18 Trees minimum

DEVELOPMENT PLANTING PROPOSAL CALCULATIONS FOR 40% LOT SHADE COVERAGE:

Total Onsite Parking Area = 45,110 sq.ft. x40% = 18,044 sq.ft. of shade required
 Parking Lot Trees will provide approximately 750 sq.ft. of shade per tree at 15yr maturity.
 Required number of parking lot trees = 18,044 / 750 = 24 Parking Lot Trees Minimum.

Irrigation Schedule

1. 3-ZONE IRRIGATION CONTROL VALVE BOX. VALVE BOX TO BE FED BY EXISTING ONSITE WELL. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN BUILD SYSTEM INCLUDING PUMPS, CONTROLS, EXPANSION TANKS, ETC.
2. INSTALL DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS.
3. INSTALL DOUBLE TREE RING DRIPLINE AT EACH TREE LOCATION. FIRST RING SHALL BE 12" FROM TRUNK, SECOND RING 24" (Typ. ALL TREES)

1. THIS PLAN IS DIAGRAMMATICAL; ALL PIPING, VALVES, SPRINKLER HEADS ETC. SHALL BE INSTALLED BY LANDSCAPE CONTRACTOR AND FOLLOW THIS PLAN AS CLOSE AS IS PRACTICAL
2. ALL MAINLINE IRRIGATION PIPES SHALL BE INSTALLED AT 24" DEPTH WITH LATERALS AT 12" DEPTH.
3. CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS AS NEEDED TO OBTAIN FULL COVERAGE.
4. ALL ROAD AND SIDEWALK CROSSING SHALL BE INSTALLED IN CLASS 200 PVC SLEEVES AT 24" MIN. DEPTH.

LEGEND:

- IRRIGATION MAINLINE, PVC SCH 40 PIPE 1-1/2" DIA WITH 3/8" DIA LATERALS TO SPRINKLER HEADS
- DRIP LINE

Tree Planting Schedule

Symbol	Quantity	Species	Size
	10	ACER PLATANOIDES NORWAY MAPLE - STREET TREE	2" CAL., 10'-12' HT.
	23	GYMNOCLADUS DIOICIS KENTUCKY COFFEE TREE	2" CAL., 10'-12' HT.
	29	ACER GRISEUM PAPERBARK MAPLE	2" CAL., 10'-12' HT.
	7	ACER RUBRUM RED MAPLE	5'-6' HT.

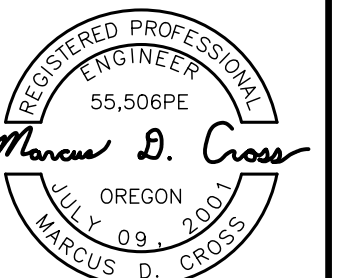
*STREET TREES MAY BE SUBSTITUTED TO COORDINATE WITH EXISTING STREET TREES ON BIDDLE ROAD FOR CONTINUITY.

Shrub and Grass Planting Schedule

Symbol	Quantity	Species	Size
	64	SYMPHORICARPOS ALBUS COMMON SNOWBERRY	5 GAL.
	85	MAHONIA HAEMATOCARPA RED BARBERRY	1 GAL.
	34	EUNYMUS ALATUS 'COMPACTUS' COMPACT BURNING BUSH	5 GAL.
	62	HELICTOTRICHON SEMPERVIRENS BLUE OAT GRASS	5'-6' HT.

DICKERHOOF PROPERTIES
 P.O. BOX 1583
 CORVALLIS, OR 97339
 (541) 754-3630

RHINE-CROSS GROUP LLC
 ENGINEERING - SURVEYING - PLANNING
 112 N 5th ST - SUITE 200 - P.O. BOX 909
 KLAMATH FALLS, OREGON 97601
 Phone: (541) 851-9405 Fax: (541) 273-9200 admin@rc-grp.com



RENEWS: 12-31-2025
 07-15-2024

Grocery Outlet
 4951 Biddle Road
 CENTRAL POINT OREGON

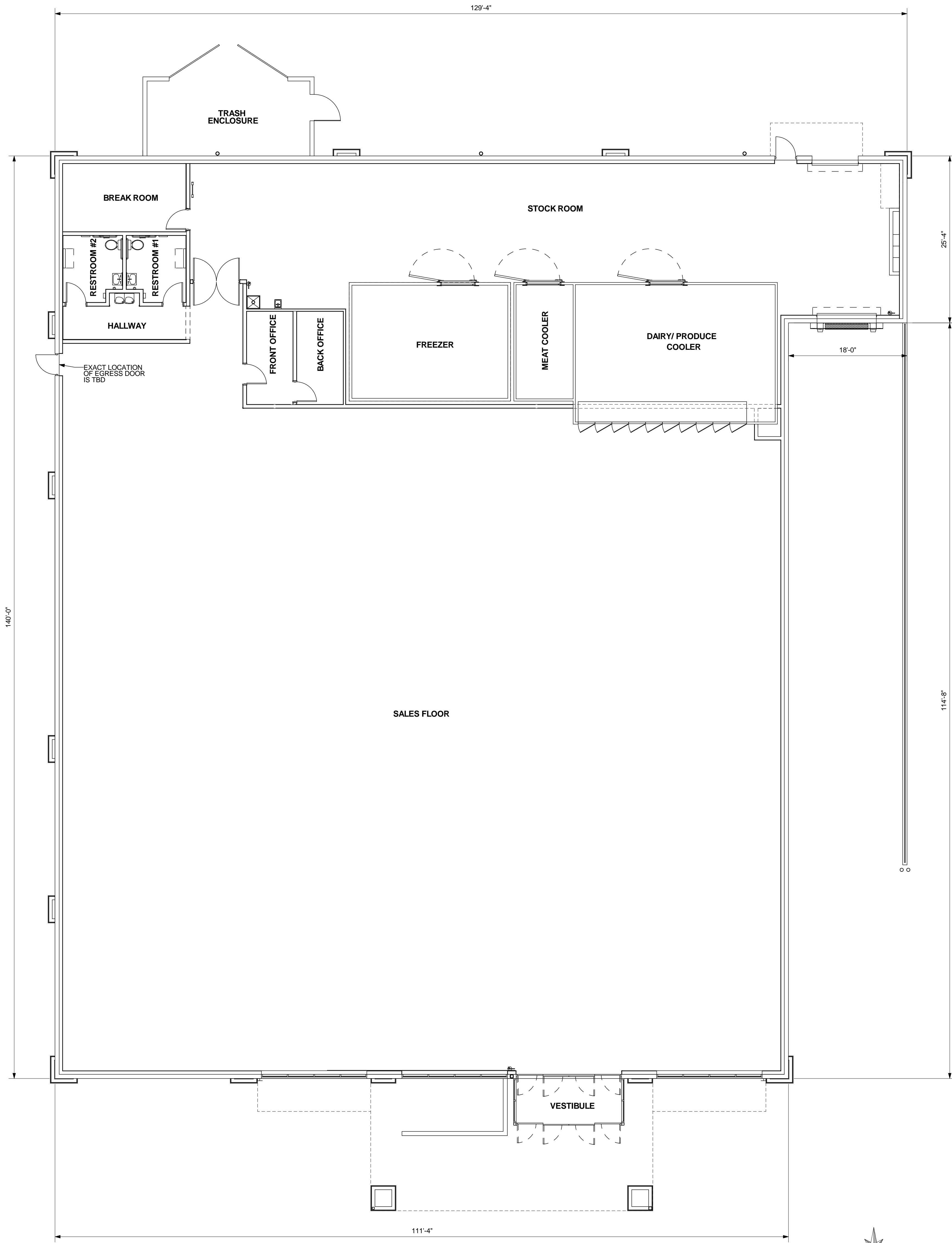
SHEET NAME:
LANDSCAPE PLAN

DRAWN BY: MDC
 CHKD BY: MDC
 DATE: JULY 2024

REVISIONS:

JOB NO. 2363
 SHEET NO.

LS01



A
A1.0 MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

REVISIONS	No.	DATE	DESCRIPTION

PROJECT: **GROCERY OUTLET - SHELL PACKAGE**
 LOCATION: **4951 BIDDLE ROAD
 CENTRAL POINT, OR 97502**

SHEET TITLE: **MAIN FLOOR PLAN**
 CLIENT: **DICKERHOOF PROPERTIES**

STABILITY ENGINEERING INC.
 777 NE 2ND ST SUITE 280
 P.O. BOX 2646, CORVALLIS, OR 97339
 TEL: (541)223-5360 FAX: (541)223-5278

JOB NO. 24-0510
 DATE: 07/12/2024
 DRAWN: PS
 SCALE: AS SHOWN
 SHEET

A1.0

6)

MAILING LABELS

***RF5 PROPERTIES LLC
LOCATION OF SUBJECT SITE
ALONG EAST PINE / BIDDLE ROAD
CENTRAL POINT, OR 97504
37S2W01C 802***

USF REDDAWAY INC
10990 ROE AVE
OVERLAND PARK, KS 66211

DATAAR LLC
4999 BIDDLE RD
CENTRAL POINT, OR 97502

RF5 PROPERTIES LLC
2316 W HILLSIDE DRIVE
CENTRAL POINT, OR 97502

SFP-E LLC
PO BOX 5350
BEND, OR 97708

TAIL LITE PROPERTIES LLC
123 MONTEREY DR
MEDFORD, OR 97504

HURT PAW PROPERTIES LLC
4901 BIDDLE RD
CENTRAL POINT, OR 97502

HAMRICK CORNERS LLC
PO BOX 970
MEDFORD, OR 97501

CNK FIDELITY LLC ET AL
1060 CRATER LAKE AVE
MEDFORD, OR 97504

DULANY JACK TRUSTEE
6310 HIGHWAY 140
EAGLE POINT, OR 97524



PUBLIC WORKS STAFF REPORT

August 13, 2024

AGENDA ITEM: Site Plan and Architectural Review (SPAR-24004) application to construct an approximately 16,000 square foot building on approximately 2.24 acres in the C-5, Thoroughfare Commercial zoning district, for use as a Grocery Store - 37S 2W 01C, Tax Lot 802.

Agent: Rhine-Cross Group, LLC

Traffic:

A Traffic Impact Analysis is not required for the Site Plan review for this combined application. The proposed development will generate less than 750 average daily trips, the threshold for a Traffic Impact Analysis per *320.10.03 – Traffic Impact Analysis Applicability of the Public Works Standards and Specifications*. The City uses the International Transportation Engineers Manual 10th generation, and based on the studies, this development will generate 432.8 peak-hour trips that can be distributed to three locations: Hamrick Road, Biddle Road, and Table Rock Road. An impact analysis would only be required if the total ADT was over 750 trips

Existing Infrastructure:

- Water: An 8-inch waterline exists on the private street along the south border of the site and the private street along the east border.
- Streets: Private streets border the site to the south and east. Biddle Road, a major arterial street, borders the site on the north side.
- Stormwater: There is a 36-inch storm drain, owned by Jackson County, draining east to west along the north border of the property.

Background:

This application is for a new Grocery Store adjacent to existing public infrastructure.

Issues:

The applicant must connect to public infrastructure to service the parcel, including water and stormwater. This site has an existing, partially improved public access approach on the northeast corner to the north-south private street. Access directly from Biddle Road will not be allowed. Access must be accomplished via the existing private streets adjacent to the site.

Conditions of Approval:

Prior to building permit issuance and the start of construction, the following conditions shall be satisfied:

Civil Improvement Plan. The applicant shall submit and receive approval of civil improvement plans demonstrating compliance with Public Works Department Standard Specifications for public works construction, including but not limited to landscape row, utilities, sidewalks,, access approach and protection of public infrastructure.

- a. **Landscape Plan.** The applicant shall prepare a landscape and irrigation plan to install ground cover along the Biddle Road frontage.
- b. **Sidewalks.** A private sidewalk is required along the east and south sides of the private streets. Sidewalk widths shall match the existing sidewalk on the east side of the existing private street. ADA-compliant ramps are required at the intersection of the two private streets at the site's southeast corner. In addition, ADA-compliant ramps will be required at all access entrances.

2. Stormwater Management

- a. NPDES Stormwater Management Plan - The applicant shall submit to Public Works for review and approval a stormwater management plan in accordance with the Rogue Valley Stormwater Quality Design Manual, which requires stormwater quantity and quality treatment of all proposed impervious surfaces proposed as part of the partition.
- b. Civil Improvement Plan Review – The applicant shall submit civil improvement plans for stormwater infrastructure construction, including but not limited to storm drain lines, detention facilities, and the proposed outfall.
- c. Erosion and Sediment Control – Construction of required improvements will disturb more than one acre. The applicant shall obtain an erosion and sediment control permit (NPDES 1200-C) from the Department of Environmental Quality (DEQ) and provide a copy to the Public Works Department.

Prior to Public Works final inspection, the following conditions shall be satisfied:

1. **PW Standards and Specifications** – Applicant shall demonstrate that all Public Works infrastructure construction complies with the Standards Specifications and Uniform Details for Construction. Installation of civil improvement, including but not limited to landscaping, irrigation and sidewalks, shall be installed per approved plans.
2. **Stormwater Quality Operations & Maintenance** – The Applicant shall record an Operations and Maintenance Agreement for all new stormwater quality features and provide a copy of the Public Works Department's recorded document.



JACKSON COUNTY

Roads

Nancy Coates
Construction Manager

200 Antelope Road
White City, OR 97503
Phone: (541) 774-6261
Fax: (541) 774-6295
CoatesN@jacksoncounty.org

www.jacksoncounty.org

August 14, 2024

Attention: Justin Gindlesperger
City of Central Point Planning
140 South Third Street
Central Point, OR 97502

RE: Site Plan & Architectural Review for the 16,000 sq. ft. Grocery Store
on Biddle Road – A County maintained road
Planning File: SPAR-24004; 37-2W-01C Tax Lot 802

Dear Justin:

Thank you for the opportunity to comment on this Site Plan & Architectural Review to construct an approximately 16,000 square foot grocery store on approximately 2.24 acres in the C-5, Thoroughfare Commercial zoning district. Jackson County Roads offers the following comments:

1. The applicant shall submit construction drawings to Jackson County Roads and obtain county permits if required.
2. The applicant should be aware that as an arterial facility carrying over 30,000 trips daily, the County is concerned with the operations of Biddle Road following the development.
3. ADA curb ramps must be located wherever there are curbs or other barriers to entry from a pedestrian walkway or sidewalk, including any intersection where it is legal for a pedestrian to cross the street, whether or not there is any designated crosswalk. The developer's frontage improvements shall provide smooth and ADA compliant connections to existing ADA ramps and sidewalk.
4. Any new or improved roads inside the Urban Growth Boundary or expanded Urban Growth Boundary shall be permitted, inspected and become the sole jurisdiction of the City of Central Point.
5. We concur with any City requested right-of-way dedication and/or frontage improvements.
6. The County road approach spacing standard for arterials is 300'.

7. Utility Permits are required from Jackson County Roads for any utility work within the county road right-of-way. On longitudinal trenches within a travel lane 100' or greater in length, unless otherwise approved by the Engineer, the existing pavement shall be removed and replaced to full paving-machine width (normally 10'-12') for a travel lane restoration. Drag boxes or other pull-type asphalt spreaders will not be permitted for longitudinal trench pavement replacement.
8. Per Oregon Revised Statute 209.150, any survey monuments of record removed, disturbed or destroyed within the permit area must be referenced prior to construction and replaced after construction by a registered professional land surveyor. All costs associated with this surveying work are the responsibility of the permit holder.
9. Jackson County Roads reserves the right to review and comment on the hydraulic report including the calculations and drainage plan. Capacity improvements or on-site detention, if necessary, shall be installed at the expense of the applicant. Upon completion of the project, the developer's engineer shall certify that construction of the drainage system was constructed per plan and a copy of the certification shall be sent to Jackson County Roads.
10. If frontage improvements are required along Biddle Road, they shall be permitted and inspected by Jackson County Roads. Jackson County Roads does not maintain planter strips. The developer shall obtain a Minor Road Improvement Permit before commencing work in the County right-of-way.
11. Landscaping within the County's Right-of-Way shall provide sight distance throughout all stages of growth. At no time shall the landscaping become invasive to the storm drain system.
12. The applicant shall contact the city of Central Point for storm drainage concerns and comments.
13. Construction plans shall be prepared in accordance with the "Standards and Specifications for County Roads" (also known as the County Road Standards).
14. The radius for road intersections along an arterial road shall be a minimum of thirty feet. The road approach shall be perpendicular to Biddle Road and aligned directly across from a road approach on the other side of the road if possible.
15. Biddle Road is an Urban Minor Arterial maintained by the County. The Average Daily Traffic count was 9,501 for Eastbound lanes, 450 feet East of Hamrick Road on July 7, 2020 and 9,239 for Westbound lanes, 450 feet East of Hamrick Road on July 7, 2020.
16. We would like to be notified of future development proposals, as County permits may be required.

August 8, 2024
Page 3 of 3

17. Be Advised: other permits from local State or Federal Agencies' or Departments may be required prior to starting work.

Respectfully,



Nancy Coates
Construction Manager

Justin P. Gindlesperger

From: Mark Northrop <MarkN@jcf3.com>
Sent: Thursday, August 8, 2024 5:04 PM
To: Justin P. Gindlesperger
Cc: Steve Darnell
Subject: Re: Request for Comments - SPAR-24004

[EXTERNAL EMAIL] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Justin:

Our comments remain the same. We request compliance with OFC and request Firewise plants be used in the landscape plan.



DFM Mark Northrop, IAAI, CFI

Jackson County Fire District 3

8383 Agate Rd, White City, OR 97503

Markn@jcf3.com

Office: 541.831.2776

Cell 541.660.7689

www.jcf3.com



Together We're Better

From: Justin P. Gindlesperger <Justin.Gindlesperger@centralpointoregon.gov>
Sent: Wednesday, August 7, 2024 3:57 PM
To: Matt Samitore <Matt.Samitore@centralpointoregon.gov>; Stephanie Powers

<stephanie.powers@centralpointoregon.gov>; Dave Jacob <Dave.Jacob@centralpointoregon.gov>; Mark Northrop <MarkN@jcf3.com>; Mike Ono <Mike.Ono@centralpointoregon.gov>; Greg Graves <Greg.Graves@centralpointoregon.gov>; Mark Kimmelshue <mark.kimmelshue@centurylink.com>; 'David.McFadden@avistacorp.com' <David.McFadden@avistacorp.com>; Chadd Griffin <chadd.griffin@centralpointoregon.gov>; Amber Judd (JuddAJ@jacksoncounty.org) <JuddAJ@jacksoncounty.org>; PhilpJW@jacksoncountyor.gov <PhilpJW@jacksoncountyor.gov>; ODOT Region 3 Development Review (R3DevRev@odot.state.or.us) <R3DevRev@odot.state.or.us>; 'Micah.Horowitz@odot.state.or.us' <Micah.Horowitz@odot.state.or.us>; Ed Devries <Ed.Devries@pacifiCorp.com>; emalanche@roguedisposal.com <emalanche@roguedisposal.com>; lbrown@roguedisposal.com <lbrown@roguedisposal.com>; Nick Bakke <nbakke@rvss-or.gov>; Sean Eisma <seisma@rvtd.org>; 'ptownsend@rvtd.org' <ptownsend@rvtd.org>; 'chad.murders@ecso911.com' <chad.murders@ecso911.com>

Subject: Request for Comments - SPAR-24004

Good afternoon,

The City received an application requesting approval for a Site Plan and Architectural Review for the construction of an approximately 16,000 square foot grocery store on property in the C-5, Thoroughfare Commercial zoning district. The property is located at 4951 Biddle Road and identified on the Jackson County Assessor's map as 37S 2W 01C, Tax Lot 802.

The complete application is available at:

https://link.edgepilot.com/s/83186921/pn9I7gf9aE_INBH7E0F2Q?u=https://www.centralpointoregon.gov/cd/project/grocery-outlet

Please review and submit comments or written reports setting forth any necessary conditions as required by your department/agency to the Planning Department no later than **Wednesday, August 21, 2024**. If no comments are received within the review period, it will be assumed that there are no comments.

Thank you for your time and consideration of this request. If you have questions, please let me know.

Regards,

Justin Gindlesperger, AICP, CFM
Community Planner III
Community Development
City of Central Point
140 South Third Street
Central Point, OR 97502
Desk: 541-664-3321 (x245)
Fax: 541-664-6384

<https://link.edgepilot.com/s/ec13c3a6/QQUfftB-wUOzfphGobtuw?u=http://www.centralpointoregon.gov/>

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ROGUE VALLEY
SEWER SERVICES
CLEAN WATER - HEALTHY COMMUNITIES

August 8, 2024

City of Central Point Planning Department
155 South Second Street
Central Point, Oregon 97502

Re: PRE 24005 – Grocery Outlet, Map 37 2w 01C 802

Sewer service to the proposed development can be had by connecting to the existing 8 inch sewer main which crosses the southerly portion of the subject property. The permit for this connection will be issued by RVSS upon payment of related development fees.

Rogue Valley Sewer Services requests that approval of this development be subject to the following conditions:

1. The applicant must obtain a connection permit from RVSS and pay all related fees.

Feel free to call me if you have any questions.

Sincerely,

Nicholas R Bakke, PE
District Engineer

PLANNING COMMISSION RESOLUTION NO. 922

A RESOLUTION OF THE PLANNING COMMISSION APPROVING A SITE PLAN AND ARCHITECTURAL REVIEW FOR A SUPERMARKET BUILDING ON LANDS WITHIN THE THOROUGHFARE COMMERCIAL (C-5) ZONING DISTRICT.

(File No: SPAR-24004)

WHEREAS, the applicant has submitted a site plan and architectural review application that includes constructing site access and circulation, building, parking lot and landscape improvement consisting of commercial property identified on the Jackson County Assessor's Map as 37S 2W 1C, Tax Lots 802, Central Point, Oregon; and

WHEREAS, the project site is 2.24-acres located in the Thoroughfare Commercial (C-5) zoning district; and

WHEREAS, the application has been found to be consistent with the applicable approval criteria set forth in Title 17, Zoning as conditioned per the Staff Report dated September 3, 2024; and

WHEREAS, on September 3, 2024, at a duly noticed public hearing, the City of Central Point Planning Commission considered the Applicant's request for Site Plan and Architectural Review approval of a supermarket.

NOW, THEREFORE, BE IT RESOLVED: that

Section 1: The City of Central Point Planning Commission hereby approves the Site Plan and Architectural Review application File No. SPAR-24004 subject to the conditions in the Staff Report dated September 3, 2024 (Exhibit 1).

Section 2: This decision is based upon the Planning Department Staff Report dated September 3, 2024, attached hereto as Exhibit 1, including all attachments thereto.

PASSED by the Planning Commission and signed by me in authentication of its passage this 3rd day of September, 2024

Planning Commission Chair

ATTEST:

City Representative